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odesk Docs://23057b - Garr Building - Low Roof Replacement/23057b_v22.rvt

ISSUED FOR CONSTRUCTION

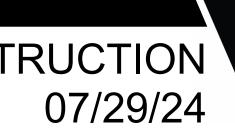
INDEX OF DRAWINGS

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ARCHITECTURAL			
A0.1	GENERAL NOTES AND CODE ANALYSIS		
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RHODE ISLAND HOUSING GARR BUILDING - LOW ROOF REPLACEMENT 44 WASHINGTON ST PROVIDENCE, RI, 02903



VISION 3 Architects

PROJECT TEAM:

OWNER:

ARCHITECT:

BUILDING ENVELOPE CONSULTANT:

MECHANICAL, ELECTRICAL & PLUMBING: RI HOUSING 44 WASHINGTON ST PROVIDENCE, RI 02903 TEL: 401.457.1234

VISION 3 ARCHITECTS 225 CHAPMAN STREET PROVIDENCE, RI 02905 TEL: 401.461.7771

BUILDING ENCLOSURE SCIENCE 859 NORTH MAIN STREET PROVIDENCE, RI 02904 TEL: 401.239.1600

DESIGN-BUILD DESIGN, SPECIFICATION, AND CONSTRUCTION OF ALL MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR ON A DESIGN-BUILD BASIS.



QR SCAN FOR LINK TO WEBSITE

RHODE ISLAND HOUSING GARR BUILDING - LOW ROOF REPLACEMENT 07/29/24 23057B

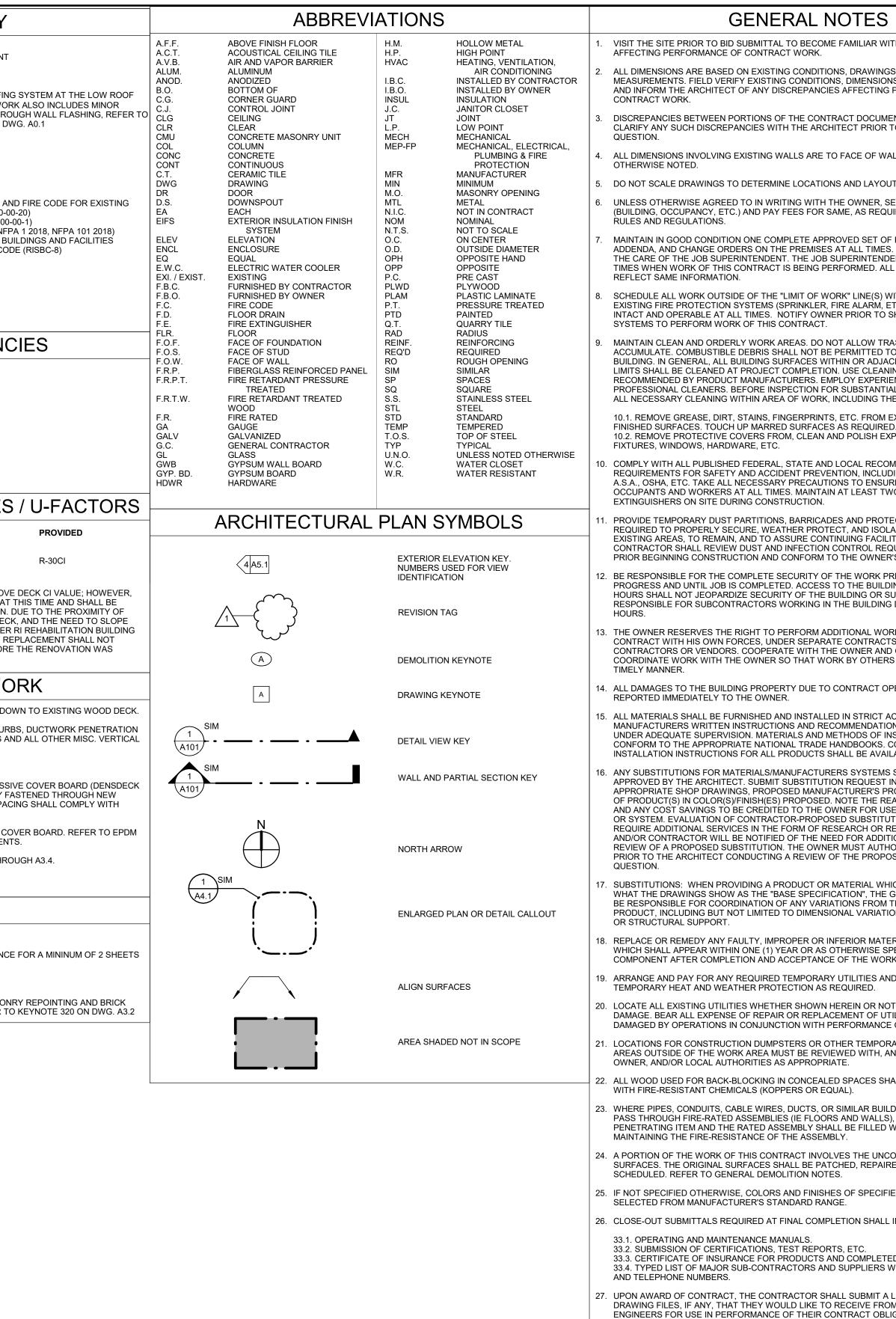
ISSUED FOR CONSTRUCTION

	C	DDE S	SUN	1MA	NRY
PROJECT:	RHODE ISL GARR BUILI 44 WASHIN PROVIDENO	DING - LOW GTON STRE	ROOF		CEMEN
PROJECT DESCRIPTION :	REPLACEM OF THE GA MASONRY DETAILED S	RR BUILDIN NORK REQ	NG.THE	SCOPE	OF WO
PLAT NUMBER:	020				
LOT NUMBER:	32				
APPLICABLE CODES:	Rhode Isl Buildings Rhode Isl Rhode Isl Icc A117.1 Rhode Isl	AND STRUG AND BUILDI AND FIRE S 2009 ACCES	CTURES NG COI AFETY SSIBLE	6 (510-R DE (510- CODE-2 AND US	ICR-00 [,] RICR-0 021 (NI ABLE E
USE GROUP:	CLASS 'B' -	BUSINESS			
SPRINKLER SYSTEM:	YES <u>X</u>	NO			
FIRE ALARM SYSTEM:	YES <u>X</u>	NO	_		
	GOVEF	RNME		AG	EN
BUILDING DEPARTMEN		STATE E	BUILDIN	G OFFIC	E
		560 Jeffe Warwick, TEL: (40	RI 0288	36	100
FIRE MARSHAL:		OFFICE FIRE MA 560 Jeffe Warwick, TEL: (40	RSHAL erson Blv RI 0288	vd 36	
BUILDING					
ROOF: ABOVE DECK:	R-3			. 0402.	
NOTE: EVERY EFFORT THE THICKNESS OF TH FIELD VERIFIED VIA TES THE BUILDING'S EXISTI TO DRAINS, R-30 CL MA AND FIRE CODE FOR ES RENDER THE BUILDING UNDERTAKEN.	E EXISTING R ST-CUTS PRIC NG WINDOWS Y NOT BE AC XISTING STRU	OOF INSUL/ R TO STAR TO THE ST HIEVABLE II CTURES, S	ATION IS T OF CO TRUCTU N ALL LO ECTION	S UNKN ONSTRU RAL RC OCATIO 401.3, I	OWN A JCTION OOF DE NS. PE ROOF I
	SCOP	E OF	RC	OF	W
1. EXISTING BUILT-UP R	OOFING TO BI	E DEMOLISI	HED AN	D REMC	OVED D
2. ALL EXISTING VERTIC CURBS, PLUMBING VEN FLASHINGS ARE TO BE	TS, PARAPETS	S, ROOF TO	WALL	TRANSI	TIONS
3. CLEAN EXISTING ROC	OF TO REMOVI	E MISC. DEE	BRIS.		
4. INSTALL NEW POLYIS PRIME OR APPROVED E INSULATION AND INTO E ROOF MANUFACTURER	QUAL) COVE	R BOARD TO DD DECK BE	O BE M	ECHANI	CALLY
5. INSTALL NEW FULLY A					
6. INSTALL NEW VERTIC	AL EPDM FLA	SHING PER	DETAIL	S ON A	3.2 THF
7. REFER TO A3.1 THRO	UGH A3.4 FOF	R DETAILED	SCOPE	OF WC	RK.
	ŀ	ALLO'	WA	NCE	ES
ALLOWANCE NO. 01: RC					
	OOF SHEATHIN		NCE		

OR 64 SF OF ROOF SHEATHING.

ALLOWANCE NO. 02: BRICK REPAIR/POINTING ALLOWANCE

CONTRACTOR TO HOLD ALLOWANCE FOR 40SF OF PARGINING, MASONRY REPOINTING AND BRICK REPAIR AT SOUTHWEST CORNER OF 'TELEPHONE BUILDING'; REFER TO KEYNOTE 320 ON DWG. A3.2



				1 1
	VISIT THE SITE PRIOR TO BID SUBMITTAL TO BECOME FAMILIAR WITH CONDITIONS AT THE SITE	31.	PRIOR TO SUBSTANTIAL COMPLETION, CONTRACTOR TO PROVIDE THE OWNER AND ARCHITECT	VISION 3
	AFFECTING PERFORMANCE OF CONTRACT WORK. ALL DIMENSIONS ARE BASED ON EXISTING CONDITIONS, DRAWINGS, AND/OR FIELD MEASUREMENTS. FIELD VERIFY EXISTING CONDITIONS, DIMENSIONS, ETC. LAY OUT THE WORK	32.	WITH SUBCONTRACTOR'S PUNCH LIST OF INCOMPLETE ITEMS STATING REASON FOR INCOMPLETION AND VALUE OF INCOMPLETION. PLAN AND SCHEDULE WORK AND PURCHASING IN ORDER TO MINIMIZE ON-SITE CONSTRUCTION	ARCHITECTS 225 CHAPMAN STREET
3.	AND INFORM THE ARCHITECT OF ANY DISCREPANCIES AFFECTING PROPER COMPLETION OF CONTRACT WORK. DISCREPANCIES BETWEEN PORTIONS OF THE CONTRACT DOCUMENTS ARE NOT INTENDED.	33.	TIME AND DISRUPTION OF EXISTING BUILDING OCCUPANTS AND OPERATIONS. THE OWNER MAY AUTHORIZE THE CONTRACTOR TO COMMENCE WORK BASED ON THE CONTRACTOR'S AGREEMENT TO ADHERE TO CERTAIN RULES AND REGULATIONS. THE	PROVIDENCE, RI 02905 401.461.7771
	CLARIFY ANY SUCH DISCREPANCIES WITH THE ARCHITECT PRIOR TO COMMENCING WORK IN QUESTION.		CONTRACTOR SHALL AGREE TO ANY SUCH RULES AND REGULATIONS TO THE SATISFACTION OF THE OWNER PRIOR TO START OF WORK. A COPY OF CURRENT RULES, IF AVAILABLE SHALL BE PROVIDED BY THE OWNER AT CONTRACTOR'S REQUEST.	v3@vision3architects.com www.vision3architects.com BUILDING ENVELOPE CONSULTANT:
	ALL DIMENSIONS INVOLVING EXISTING WALLS ARE TO FACE OF WALL FINISH (F.O.W.), UNLESS OTHERWISE NOTED.	34.	THE OWNER RESERVES THE RIGHT TO INSTALL EQUIPMENT IN COMPLETED AREAS OF THE BUILDING, PRIOR TO SUBSTANTIAL COMPLETION PROVIDED THAT SUCH OCCUPANCY DOES NOT INTERFERE WITH COMPLETION OF THE WORK.	BUILDING ENCLOSURE SCIENCE, LLC
6.	UNLESS OTHERWISE AGREED TO IN WRITING WITH THE OWNER, SECURE ALL PERMITS (BUILDING, OCCUPANCY, ETC.) AND PAY FEES FOR SAME, AS REQUIRED BY STATE AND LOCAL	35.	MAINTAIN MEANS OF EGRESS DURING CONSTRUCTION AS REQUIRED BY NFPA 101, LIFE SAFETY CODE, CURRENT EDITION AND LOCAL AUTHORITIES.	
	RULES AND REGULATIONS. MAINTAIN IN GOOD CONDITION ONE COMPLETE APPROVED SET OF PLANS WITH ALL REVISIONS, ADDENDA, AND CHANGE ORDERS ON THE PREMISES AT ALL TIMES. THESE ARE TO BE UNDER	36.	WORKMEN SHALL CONDUCT THEMSELVES IN A REASONABLE MANNER (I.E. SHALL NOT USE PROFANITY, CREATE A NUISANCE TO SURROUNDING BUILDING OCCUPANTS, LOITER IN SURROUNDING BUILDINGS, ETC.).	
	THE CARE OF THE JOB SUPERINTENDENT. THE JOB SUPERINTENDENT MUST BE ON-SITE AT ALL TIMES WHEN WORK OF THIS CONTRACT IS BEING PERFORMED. ALL CONSTRUCTION SETS SHALL REFLECT SAME INFORMATION.	37.	IN THE EVENT THAT ANY PORTION OF THE WORK WILL DISTURB AND/OR DISRUPT ANY OTHER OPERATIONS IN THE BUILDING, MAKE ARRANGEMENTS WITH THE OWNER TO CONDUCT THE WORK AT A TIME AGREED UPON BY THE AFFECTED OPERATIONS AND/OR PARTIES. ANY AND ALL	
	SCHEDULE ALL WORK OUTSIDE OF THE "LIMIT OF WORK" LINE(S) WITH THE OWNER. THE EXISTING FIRE PROTECTION SYSTEMS (SPRINKLER, FIRE ALARM, ETC.) MUST BE MAINTAINED INTACT AND OPERABLE AT ALL TIMES. NOTIFY OWNER PRIOR TO SHUTTING DOWN ANY SUCH		SUCH WORK AND RELATED CIRCUMSTANCES SUCH AS POWER SHUT DOWNS, PIPING, CABLING, FIRE ALARM, ETC., WILL BE COORDINATED WITH ALL AFFECTED OPERATIONS, OWNER AND AUTHORITIES HAVING JURISDICTION OVER THE AFFECTED WORK.	
	SYSTEMS TO PERFORM WORK OF THIS CONTRACT. MAINTAIN CLEAN AND ORDERLY WORK AREAS. DO NOT ALLOW TRASH AND DEBRIS TO ACCUMULATE. COMBUSTIBLE DEBRIS SHALL NOT BE PERMITTED TO ACCUMULATE WITHIN	38.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEVELOPMENT AND IMPLEMENTATION OF A CONSTRUCTION IMPAIRMENT PLAN TO THE FIRE ALARM AND FIRE PREVENTION SYSTEMS AS REQUIRED TO MEET NFPA 241 STANDARD FOR SAFEGUARDING CONSTRUCTION, ALTERATIONS,	
	BUILDING. IN GENERAL, ALL BUILDING SURFACES WITHIN OR ADJACENT TO CONSTRUCTION LIMITS SHALL BE CLEANED AT PROJECT COMPLETION. USE CLEANING MATERIALS AS RECOMMENDED BY PRODUCT MANUFACTURERS. EMPLOY EXPERIENCED WORKMEN OR PROFESSIONAL CLEANERS. BEFORE INSPECTION FOR SUBSTANTIAL COMPLETION. COMPLETE		AND DEMOLITION OPERATIONS.	
	ALL NECESSARY CLEANING WITHIN AREA OF WORK, INCLUDING THE FOLLOWING: 10.1. REMOVE GREASE, DIRT, STAINS, FINGERPRINTS, ETC. FROM EXPOSED TO VIEW	1.	GENERAL DEMOLITION NOTES	STAMP:
	FINISHED SURFACES. TOUCH UP MARRED SURFACES AS REQUIRED. 10.2. REMOVE PROTECTIVE COVERS FROM, CLEAN AND POLISH EXPOSED TO VIEW FIXTURES, WINDOWS, HARDWARE, ETC.		COMMONLY REFERRED TO AS ASBESTOS NESHAP, MORE SPECIFICALLY, 40 CFR PART 61, SUBPART M, SECTION 61.145, THE CONTRACTOR SHALL VERIFY THAT AN ASBESTOS SURVEY HAS BEEN CONDUCTED PRIOR TO THE COMMENCEMENT OF DEMOLITION OR RENOVATION WORK WHICH IS PART OF THIS CONTRACT.	SSSSSSSSSSSSSSSSSSSSSSSSSSSSSSSSSSSSSS
	COMPLY WITH ALL PUBLISHED FEDERAL, STATE AND LOCAL RECOMMENDATIONS AND REQUIREMENTS FOR SAFETY AND ACCIDENT PREVENTION, INCLUDING THOSE OF THE A.G.C., A.S.A., OSHA, ETC. TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES. MAINTAIN AT LEAST TWO TYPE 2A-10 BC FIRE EXTINGUISHERS ON SITE DURING CONSTRUCTION.	2.		No. 3978
11.	PROVIDE TEMPORARY DUST PARTITIONS, BARRICADES AND PROTECTIVE ENCLOSURES REQUIRED TO PROPERLY SECURE, WEATHER PROTECT, AND ISOLATE AREAS OF WORK AND EXISTING AREAS, TO REMAIN, AND TO ASSURE CONTINUING FACILITY OPERATIONS IN GENERAL.	3.	ALL DEMOLITION WORK SHALL BE PERFORMED IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS. SECURE REQUIRED PERMITS. ARRANGE WITH BUILDING OWNER AND/OR APPROPRIATE UTILITY COMPANIES FOR SERVICE SHUTOFFS BEFORE BEGINNING DEMOLITION	ARCHITEC'S
	CONTRACTOR SHALL REVIEW DUST AND INFECTION CONTROL REQUIREMENTS WITH OWNER PRIOR BEGINNING CONSTRUCTION AND CONFORM TO THE OWNER'S ICRA STANDARDS (IF ANY).	4.	OPERATIONS. CONSULT WITH OWNER AND FIRE OFFICIALS PRIOR TO MAKING ANY ALTERATIONS TO THE EXISTING FIRE ALARM AND SPRINKLER SYSTEM.	07-29-2024
	BE RESPONSIBLE FOR THE COMPLETE SECURITY OF THE WORK PREMISES WHILE JOB IS IN PROGRESS AND UNTIL JOB IS COMPLETED. ACCESS TO THE BUILDING DURING NON-OPERATING HOURS SHALL NOT JEOPARDIZE SECURITY OF THE BUILDING OR SURROUNDING SITE. BE RESPONSIBLE FOR SUBCONTRACTORS WORKING IN THE BUILDING DURING NON-OPERATING	5.	COORDINATE ALL DEMOLITION OPERATIONS WITH OWNER FOR SHUTDOWN PERIODS AND SEQUENCE OF WORK. PROVIDE TEMPORARY DUST PARTITIONS, BARRICADES, SIGNAGE, AND PROTECTIVE ENCLOSURES REQUIRED TO PROPERLY SECURE, ISOLATE, WATERPROOF, AND	
13.	HOURS. THE OWNER RESERVES THE RIGHT TO PERFORM ADDITIONAL WORK THAT IS NOT PART OF THIS CONTRACT WITH HIS OWN FORCES. UNDER SEPARATE CONTRACTS AND/OR WITH OTHER		PROTECT AREAS OF WORK FROM EXISTING AREAS TO REMAIN IN OPERATION AND TO ASSURE CONTINUING FACILITY OPERATIONS IN GENERAL. IDENTIFY AND PROTECT ANY AREAS WHERE DEMOLITION IS TO TAKE PLACE WHERE THE DEMOLITION CREATES A PHYSICAL SAFETY	
	CONTRACT WITH HIS OWN FORCES, UNDER SEPARATE CONTRACTS AND/OR WITH OTHER CONTRACTORS OR VENDORS. COOPERATE WITH THE OWNER AND OTHER CONTRACTORS AND COORDINATE WORK WITH THE OWNER SO THAT WORK BY OTHERS CAN BE INCORPORATED IN A TIMELY MANNER.		HAZARD. THE CONTRACTOR SHALL KEEP THE CORRIDORS AND EXITS CLEAR OF DEBRIS, STORED MATERIALS, ETC., AT ALL TIMES TO PROVIDE REQUIRED FIRE EGRESS FROM THE BUILDING.	
14.	ALL DAMAGES TO THE BUILDING PROPERTY DUE TO CONTRACT OPERATIONS MUST BE REPORTED IMMEDIATELY TO THE OWNER.	6.	MAKE EVERY EFFORT POSSIBLE TO MINIMIZE DISTURBANCES TO BUILDING OCCUPANTS. COORDINATE HOURS OF DISRUPTIVE DEMOLITION WITH BUILDING OWNER PRIOR TO COMMENCEMENT.	
-	ALL MATERIALS SHALL BE FURNISHED AND INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS WRITTEN INSTRUCTIONS AND RECOMMENDATIONS, BY SKILLED WORKMEN UNDER ADEQUATE SUPERVISION. MATERIALS AND METHODS OF INSTALLATION SHALL ALSO CONFORM TO THE APPROPRIATE NATIONAL TRADE HANDBOOKS. COPIES OF MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR ALL PRODUCTS SHALL BE AVAILABLE AT JOB SITE.	7.	IT IS NOT THE INTENT TO SHOW EVERY PIECE OR ITEM TO BE REMOVED IN DEMOLITION WORK. MECHANICAL, ELECTRICAL AND OTHER WORK RELATED TO A WALL OR AREA SCHEDULED FOR DEMOLITION AND REMOVAL SHALL BE REMOVED WHETHER SPECIFICALLY ITEMIZED OR NOT. TERMINATE, CAP AND REMOVE ALL ABANDONED ELECTRICAL CONDUIT, WIRING BOXES, SWITCHES, ETC; PLUMBING, PIPING, AND PLUMBING FIXTURES, ETC; HVAC DUCTWORK,	
-	ANY SUBSTITUTIONS FOR MATERIALS/MANUFACTURERS SYSTEMS SPECIFIED MUST BE PRE- APPROVED BY THE ARCHITECT. SUBMIT SUBSTITUTION REQUEST IN WRITING, ALONG WITH APPROPRIATE SHOP DRAWINGS, PROPOSED MANUFACTURER'S PRODUCT DATA, AND SAMPLE(S)	8.	CONTROLS, PIPING, ETC; AS REQUIRED. WHEN WALLS, COLUMNS, OR OTHER SUPPORTING AND/OR BRACING ELEMENTS ARE SCHEDULED FOR DEMOLITION, TEMPORARY STRUCTURAL SUPPORTS AND BRACING FOR THE	
	OF PRODUCT(S) IN COLOR(S)/FINISH(ES) PROPOSED. NOTE THE REASON FOR THE SUBSTITUTION AND ANY COST SAVINGS TO BE CREDITED TO THE OWNER FOR USE OF SUBSTITUTED PRODUCT OR SYSTEM. EVALUATION OF CONTRACTOR-PROPOSED SUBSTITUTIONS BY THE ARCHITECT MAY REQUIRE ADDITIONAL SERVICES IN THE FORM OF RESEARCH OR REDESIGN. THE OWNER		ADJACENT CONSTRUCTION SHALL BE PROVIDED AND MAINTAINED UNTIL THE PERMANENT SUPPORTING STRUCTURES ARE IN PLACE AND ABLE TO SUPPORT IMPOSED LOADS. ANY STRUCTURAL BRACING DISCOVERED DURING DEMOLITION IS NOT TO BE REMOVED - NOTIFY ARCHITECT OF ANY AND ALL SUCH DISCOVERIES IMMEDIATELY.	SING 13 13 13
	AND/OR CONTRACTOR WILL BE NOTIFIED OF THE NEED FOR ADDITIONAL SERVICES PRIOR TO REVIEW OF A PROPOSED SUBSTITUTION. THE OWNER MUST AUTHORIZE ADDITIONAL SERVICES PRIOR TO THE ARCHITECT CONDUCTING A REVIEW OF THE PROPOSED SUBSTITUTION IN QUESTION.	9.	REMOVE EXISTING CEILING FINISH MATERIAL, FRAMING/SUSPENSION SYSTEMS, INCLUDING LIGHT AND CEILING FIXTURES, AS REQUIRED TO ACCOMMODATE NEW WORK. IN ROOMS WHERE CEILINGS ARE TO REMAIN AND SECTIONS OF PARTITIONS ARE TO BE REMOVED/RELOCATED,	
17.	SUBSTITUTIONS: WHEN PROVIDING A PRODUCT OR MATERIAL WHICH IS A SUBSTITUTE FROM WHAT THE DRAWINGS SHOW AS THE "BASE SPECIFICATION", THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ANY VARIATIONS FROM THE ORIGINALLY SPECIFIED	10.	CEILINGS SHALL BE PATCHED AND REPAIRED TO MATCH EXISTING. PATCH, REPAIR AND REFINISH ALL SURFACES TO MATCH AND ALIGN WITH EXISTING ADJACENT SURFACES SCHEDULED TO REMAIN, AND PREPARE TO RECEIVE NEW FINISHES SPECIFIED.	
18.	PRODUCT, INCLUDING BUT NOT LIMITED TO DIMENSIONAL VARIATIONS, UTILITY REQUIREMENTS, OR STRUCTURAL SUPPORT. REPLACE OR REMEDY ANY FAULTY, IMPROPER OR INFERIOR MATERIALS OR WORKMANSHIP		WORK SHALL INCLUDE ALL LABOR AND MATERIALS ON ALL SURFACES REQUIRED TO RENDER SUBSTRATES ACCEPTABLE TO RECEIVE NEW FINISHES SPECIFIED IN ACCORDANCE WITH MANUFACTURER'S WRITTEN RECOMMENDATIONS.	
19.	WHICH SHALL APPEAR WITHIN ONE (1) YEAR OR AS OTHERWISE SPECIFIED FOR A SPECIFIC COMPONENT AFTER COMPLETION AND ACCEPTANCE OF THE WORK UNDER THIS CONTRACT. ARRANGE AND PAY FOR ANY REQUIRED TEMPORARY UTILITIES AND FACILITIES. PROVIDE		PROTECT FROM LOSS OR DAMAGE ALL ITEMS INTENDED FOR SALVAGE AND REUSE, OR SCHEDULED TO REMAIN. REPLACE IN KIND ANY EXISTING CONSTRUCTION, OR ITEM INTENDED TO REMAIN, OR BE	$ \forall \leq \land \exists z \mid z$
20.	TEMPORARY HEAT AND WEATHER PROTECTION AS REQUIRED. LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREIN OR NOT AND PROTECT THEM FROM		SALVAGED FOR REUSE, BUT DAMAGED OR LOST AS A RESULT OF THE WORK OF THIS CONTRACT.	
	DAMAGE. BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH PERFORMANCE OF THE WORK. LOCATIONS FOR CONSTRUCTION DUMPSTERS OR OTHER TEMPORARY FACILITIES AND STAGING	13.	REUSE OF SALVAGED MATERIALS NOT SPECIFICALLY SCHEDULED FOR REUSE, WILL BE AT THE SOLE DISCRETION OF THE OWNER. IN NO CASE SHALL SALVAGED MATERIAL BE INCORPORATED IN THE WORK THAT DOES NOT MEET MINIMUM REQUIREMENTS OF STATE AND LOCAL CODES AND REGULATIONS.	BU BU BU A PRO 4
22	AREAS OUTSIDE OF THE WORK AREA MUST BE REVIEWED WITH, AND APPROVED BY, THE OWNER, AND/OR LOCAL AUTHORITIES AS APPROPRIATE. ALL WOOD USED FOR BACK-BLOCKING IN CONCEALED SPACES SHALL BE PRESSURE-TREATED	14.	SCHEDULES OF ADDITIONAL ITEMS TO BE SALVAGED (IF ANY) ARE TO BE PROVIDED BY THE OWNER UPON REQUEST OF THE CONTRACTOR.	ARR
23.	WITH FIRE-RESISTANT CHEMICALS (KOPPERS OR EQUAL). WHERE PIPES, CONDUITS, CABLE WIRES, DUCTS, OR SIMILAR BUILDING SERVICE EQUIPMENT	15.	ITEMS TO BE SALVAGED BUT NOT SO SCHEDULED ON THE DEMOLITION PLAN SHALL BE CONFIRMED BY THE CONTRACTOR WITH THE OWNER. ALL ITEMS TO BE TURNED OVER TO THE OWNER, SHALL BE PROTECTED DURING DEMOLITION AND REMOVAL AND SHALL BE DELIVERED	LA RO
	PASS THROUGH FIRE-RATED ASSEMBLIES (IE FLOORS AND WALLS), THE SPACE BETWEEN THE PENETRATING ITEM AND THE RATED ASSEMBLY SHALL BE FILLED WITH A MATERIAL CAPABLE OF MAINTAINING THE FIRE-RESISTANCE OF THE ASSEMBLY.	16.	IN AN UNDAMAGED CONDITION. REMOVE ALL DEMOLISHED MATERIALS NOT SCHEDULED FOR SALVAGE AND REUSE, OR THOSE TO BECOME PROPERTY OF THE OWNER, FROM THE SITE AND DISPOSE OF IN ACCORDANCE	
	A PORTION OF THE WORK OF THIS CONTRACT INVOLVES THE UNCOVERING OF ORIGINAL SURFACES. THE ORIGINAL SURFACES SHALL BE PATCHED, REPAIRED, FOR FINISHING AS SCHEDULED. REFER TO GENERAL DEMOLITION NOTES.	17.	WITH LOCAL, STATE AND FEDERAL REGULATIONS. DISCONNECT ALL ELECTRICAL POWER TO PARTITIONS AND OTHER ITEMS, AREAS, ELEMENTS	
	IF NOT SPECIFIED OTHERWISE, COLORS AND FINISHES OF SPECIFIED PRODUCTS WILL BE SELECTED FROM MANUFACTURER'S STANDARD RANGE.	18.	INVOLVED IN THE DEMOLITION PRIOR TO DEMOLITION. CONFINE TOOLS AND EQUIPMENT, STORAGE OF MATERIALS AND OPERATIONS TO LIMITS DESIGNATED BY THE BUILDING OWNER. THE PREMISES SHALL BE MAINTAINED IN SAFE,	ISSUED FOR CONSTRUCTION
∠ю́.	CLOSE-OUT SUBMITTALS REQUIRED AT FINAL COMPLETION SHALL INCLUDE: 33.1. OPERATING AND MAINTENANCE MANUALS. 33.2. SUBMISSION OF CERTIFICATIONS, TEST REPORTS, ETC.	19	ORDERLY CONDITION AT ALL TIMES. REMOVE DEBRIS DAILY. COVER DUMPSTERS WITH FIRE RESISTANT TARPS SECURELY FASTENED TO PREVENT VANDALISM. IN THE EVENT THAT SUSPECTED HAZARDOUS MATERIALS ARE DISCOVERED DURING THE	DATE: 07/29/24
	33.3. CERTIFICATE OF INSURANCE FOR PRODUCTS AND COMPLETED OPERATIONS. 33.4. TYPED LIST OF MAJOR SUB-CONTRACTORS AND SUPPLIERS WITH ADDRESSES AND TELEPHONE NUMBERS.		COURSE OF DEMOLITION, CEASE WORK IMMEDIATELY AND NOTIFY THE BUILDING OWNER OF ANY SUCH DISCOVERIES.	PROJECT NO: 23057B
	UPON AWARD OF CONTRACT, THE CONTRACTOR SHALL SUBMIT A LIST OF ELECTRONIC DRAWING FILES, IF ANY, THAT THEY WOULD LIKE TO RECEIVE FROM THE ARCHITECT OR ENGINEERS FOR USE IN PERFORMANCE OF THEIR CONTRACT OBLIGATIONS, INCLUDING PREPARATION OF SHOP DRAWINGS, DRAWINGS IN PDE FORMAT WILL BE PROVIDED LIPON	20.	DEMOLITION PLANS SHALL BE USED IN CONJUNCTION WITH DRAWINGS FOR NEW CONSTRUCTION SO THAT EXACT LIMIT AND BOUNDARIES OF SPECIFIC DEMOLITION MAY BE DETERMINED.	DRAWN BY: AG CHECKED BY: RH, LJZ
	PREPARATION OF SHOP DRAWINGS. DRAWINGS IN .PDF FORMAT WILL BE PROVIDED UPON REQUEST AT NO CHARGEDWG FORMAT WILL BE PROVIDED UPON RECEIPT OF A SIGNED INDEMNIFICATION AGREEMENT. THE FOLLOWING SCHEDULE OF FEES SHALL APPLY FOR THE DELIVERY OF .DWG FILES: \$200 FOR THE FIRST DRAWING; \$75 FOR EACH ADDITIONAL DRAWING.		HAZARDOUS MATERIALS	REVISIONS:
	SHOP DRAWINGS, PRODUCT DATA, AND OTHER SUBMITTALS (OTHER THAN ACTUAL SAMPLES) SHALL BE SUBMITTED IN ELECTRONIC (PDF) FORMAT WHEREVER POSSIBLE. PROVIDE 5 COPIES OF ALL PAPER SUBMITTALS.	1.	THE OWNER HAS PREVIOUSLY COMPLETED A SUMMARY REPORT OF INSPECTION AND SAMPLING OF MATERIALS. SUSPECTED OF CONTAINING ASBESTOS, WHICH SHALL BE PROVIDED BY THE OWNER UNDER SEPARATE COVER (ALONG WITH ANY SUPPLEMENTARY INSTRUCTIONS ASSOCIATED WITH HANDLING AND/OR REMOVAL).	
	ALLOW TIME FOR SUBMITTAL REVIEW, INCLUDING TIME FOR RESUBMITTALS, AS FOLLOWS. TIME FOR REVIEW SHALL COMMENCE ON ARCHITECT'S RECEIPT OF SUBMITTAL. NO EXTENSION OF THE CONTRACT TIME WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS ENOUGH IN ADVANCE OF THE WORK TO PERMIT PROCESSING, INCLUDING RESUBMITTALS. ALLOW [14] DAYS FOR INITIAL REVIEW OF EACH SUBMITTAL. ALLOW ADDITIONAL TIME IF		MEP DESIGN BUILD NOTES	DRAWING TITLE:
	COORDINATION WITH SUBSEQUENT SUBMITTALS IS REQUIRED.	1	DESIGN, SPECIFICATION AND CONSTRUCTION OF HVAC, ELECTRICAL, PLUMBING WORK SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR ON A DESIGN-BUILD BASIS. WORK SHALL AT A MINIMUM CONFORM TO ALL APPLICABLE CODES AND REQUIRED STANDARDS. CONSTRUCTION DOCUMENTS REQUIRED BY AUTHORITIES HAVING JURISDICTION FOR PERMITTING OF HVAC, ELECTRICAL, PLUMBING, WORK, SHALL BE PROVIDED BY THE CONTRACTOR.	GENERAL NOTES AND CODE
		2	CONTRACTOR IS RESPONSIBLE FOR ASCERTAINING ANY SPECIAL OWNER RELATED MEP DESIGN REQUIREMENTS AND PERFORMANCE CRITERIA. COORDINATE THE DESIGN WORK WITH THE OWNER EQUIPMENT VENDORS AS NECESSARY.	ANALYSIS
		3	 WITH THE OWNER EQUIPMENT VENDORS AS NECESSARY. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PROVIDING ALL SUPPORTING STRUCTURE FOR ALL MEP AND OWNER RELATED EQUIPMENT. 	DRAWING NO.:
		4	. CONTRACTOR IS RESPONSIBLE FOR PATCHING AND/OR REPAIRING ALL EXISTING MATERIALS DISTURBED DURING THE COURSE OF THE PROJECT. MATERIALS THAT CANNOT BE PATCHED AND/OR REPAIRED SHALL BE REPLACED WITH NEW MATERIAL TO MATCH EXISTING.	A0.1
		5	THE ARCHITECT WILL NOT REVIEW OR COMMENT ON MEP WORK DURING SITE VISITS OR MEP/FP RELATED CHANGE ORDERS.	

	GENERAL REQUIREMENTS	GENERAL REQUIREMENTS CONT.
 PLAN OF OPERATIONS: A. PRIOR TO COMMENCING ANY WORK, SUBMIT A PLAN SHOWING CONTRACTOR'S INTENDED USE OF THE WORK SITE, INCLUDING ON SITE STORAGE OF MATERIALS, ON SITE HANDLING OF MATERIALS, AND FIELD OFFICES. 	F. STORAGE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING STORAGE AS REQUIRED TO ACCOMMODATE MATERIALS AND EQUIPMENT FOR CONSTRUCTION OPERATIONS. ALL FEES ASSOCIATED WITH SUCH STORAGE FACILITIES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.	 6. CONTRACT REQUIREMENTS & GENERAL CONDITIONS: A. THE CONTRACT SHALL BE AIA DOCUMENT A101, STANDARD FORM OF AGREEMENT E OWNER AND CONTRACTOR WHERE THE BASIS OF PAYMENT IS A STIPULATED SUM. B. THE CONTRACT GENERAL CONDITIONS SHALL BE AIA DOCUMENT A201, GENERAL
 TEMPORARY FACILITIES AND CONTROLS: A. GENERAL: INSTALLATION AND REMOVAL OF AND USE CHARGES FOR TEMPORARY FACILITIES SHALL BE INCLUDED IN THE CONTRACT SUM UNLESS OTHERWISE INDICATED. ALLOW OTHER 	G. TOILET FACILITIES: THE RHODE ISLAND HOUSING PROJECT MANAGER WILL DESIGNATE THE USE OF ONE (1) TOILET FACILITY FOR CONTRACTOR USE. THE CONTRACTOR WILL BE REQUIRED TO ENGAGE THE SERVICES OF A PROFESSIONAL CLEANING COMPANY TO CLEAN	CONDITIONS OF THE CONTRACT FOR CONSTRUCTION. C. THE RHODE ISLAND HOUSING SUPPLEMENTARY GENERAL CONDITIONS AND AFFIRM. ACTION REQUIREMENTS SHALL BE AN INTEGRAL PART OF THE ABOVE REFERENCED
ENTITIES TO USE TEMPORARY SERVICES AND FACILITIES WITHOUT COST, INCLUDING, BUT NOT LIMITED TO, OWNER'S CONSTRUCTION FORCES, ARCHITECT, OCCUPANTS OF PROJECT, TESTING AGENCIES, AND AUTHORITIES HAVING JURISDICTION.	AND MAINTAIN SUCH FACILITY IN A CONDITION ACCEPTABLE TO OWNER. AT SUBSTANTIAL COMPLETION, RESTORE THESE FACILITIES TO CONDITION EXISTING BEFORE INITIAL USE. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE AND/OR	CONTRACT. COPIES OF SUCH DOCUMENTS SHALL BE MADE AVAILABLE BY RI HOUSI REQUEST. D. AFFIRMATIVE ACTION MUST BE TAKEN TO RECRUIT AND ADVANCE QUALIFIED MINOR
B. WATER SERVICE FROM EXISTING SYSTEM: WATER FROM OWNER'S EXISTING WATER SYSTEM IS AVAILABLE FOR USE WITHOUT METERING AND WITHOUT PAYMENT OF USE CHARGES. PROVIDE CONNECTIONS, EXTENSIONS AND REMOVAL OF SERVICES AS REQUIRED	VANDALISM THAT IS CAUSED TO THE TOILET FACILITY PRIOR TO TURNING FACILITY BACK OVER TO OWNER. H. ISOLATION OF WORK AREAS IN OCCUPIED FACILITIES: AS REQUIRED BY CONSTRUCTION	WOMEN, PERSONS WITH DISABILITIES, AND COVERED VETERANS. REFER TO THE REISLAND HOUSING AFFIRMATIVE ACTION REQUIREMENTS PROVIDED AS AN ATTACHMI THIS DOCUMENT FOR ADDITIONAL INFORMATION.
FOR CONSTRUCTION OPERATIONS. C. ELECTRIC POWER SERVICE FROM EXISTING SYSTEM: ELECTRIC POWER FROM OWNER'S EXISTING SYSTEM IS AVAILABLE FOR USE WITHOUT METERING AND WITHOUT PAYMENT OF	ACTIVITIES AND THE LEVEL OF WORK SCHEDULED TO BE PERFORMED UNDER THIS CONTRACT, PREVENT DUST, FUMES, AND ODORS FROM ENTERING OCCUPIED AREAS. THE CONTRACTOR SHALL COORDINATE THE LEVEL OF ISOLATION REQUIRED WITH THE	 E. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL PARKING FEES ASSOCIATED WIT PROJECT. F. THE PROJECT IS TAX EXEMPT FOR ALL MATERIAL PURCHASES. REFER TO RHODE IS
USE CHARGES. PROVIDE CONNECTIONS, EXTENSIONS AND REMOVAL OF SERVICES AS REQUIRED FOR CONSTRUCTION OPERATIONS. D. TELEPHONE SERVICE: RHODE ISLAND HOUSING PROVIDED TELEPHONE SERVICE WILL NOT	ARCHITECT AND OWNER PRIOR TO COMMENCING ANY WORK. a. PRIOR TO COMMENCING WORK, ISOLATE THE HVAC SYSTEM IN THE AREA WHERE WORK IS TO BE PERFORMED.	DEPARTMENT OF ADMINISTRATION DIVISION OF TAXATION EXEMPTION CERTIFICATE PROVIDED AS AN ATTACHMENT TO THIS DOCUMENT FOR ADDITIONAL INFORMATION G. PREVAILING WAGES APPLY TO THIS PROJECT FOR BUILDING & HEAVY CONSTRUCTION
 BE PROVIDED. E. INTERNET SERVICE: RHODE ISLAND HOUSING PROVIDED INTERNET SERVICE WILL NOT BE PROVIDED. 	 b. PRIOR TO COMMENCING WORK, PROTECT EXISTING FIRE ALARM AND SMOKE DETECTORS FROM DUST WHERE WORK IS TO BE PERFORMED. c. MAINTAIN NEGATIVE AIR PRESSURE WITHIN WORK AREA USING HEPA-EQUIPPED AIR- 	PROJECTS LOCATED IN PROVIDENCE COUNTY. THE CONTRACTOR SHALL REFER TO DEPARTMENT OF LABOR'S WAGE AND HOUR DIVISION (WHD) WEBSITE TO OBTAIN TH APPROPRIATE DAVIS-BACON ACT (DBA) WAGE DETERMINATIONS (WDS) FOR THIS CO
	FILTRATION UNITS, STARTING WITH COMMENCEMENT OF TEMPORARY PARTITION CONSTRUCTION, AND CONTINUING UNTIL REMOVAL OF TEMPORARY PARTITIONS IS	WEBSITE: WWW.WDOL.GOV H. STATE OF RHODE ISLAND, DIVISION OF TAXATION, DEPARTMENT OF REVENUES SALI
	COMPLETE. d. MAINTAIN DUST PARTITIONS DURING THE WORK. USE VACUUM COLLECTION ATTACHMENTS ON DUST-PRODUCING EQUIPMENT. ISOLATE LIMITED WORK WITHIN	USE TAX, REGULATION SU 91-27, CONTRACTORS AND SUBCONTRACTORS - "REGULA IS APPLICABLE. NON-RESIDENT CONTRACTOR COMPLIANCE AND AFFIDAVITS WILL BI REQUIRED IF APPLICABLE.
	OCCUPIED AREAS USING PORTABLE DUST-CONTAINMENT DEVICES. e. PERFORM DAILY CONSTRUCTION CLEANUP AND FINAL CLEANUP USING APPROVED, HEPA-FILTER-EQUIPPED VACUUM EQUIPMENT.	 PAYMENT & CLOSE-OUT DOCUMENTATION REQUIREMENTS: A. NO PAYMENTS WILL BE MADE TO THE CONTRACTOR UNLESS THESE OWNER DOCUMENTATION REQUIREMENTS ARE MET. NO EXCEPTIONS WILL BE MADE TO THE
	I. VENTILATION AND HUMIDITY CONTROL: PROVIDE TEMPORARY VENTILATION FOR CURING OR DRYING OF COMPLETED INSTALLATIONS OR FOR PROTECTING INSTALLED CONSTRUCTION FROM ADVERSE EFFECTS OF HIGH HUMIDITY. SELECT EQUIPMENT THAT WILL NOT HAVE A	REQUIREMENTS. a. PAYMENT DOCUMENTATION • AIA G702 APPLICATION AND CERTIFICATE FOR PAYMENT CERTIFIED BY ARC
	HARMFUL EFFECT ON COMPLETED INSTALLATIONS OR ELEMENTS BEING INSTALLED. COORDINATE VENTILATION REQUIREMENTS TO PRODUCE AMBIENT CONDITION REQUIRED AND MINIMIZE ENERGY CONSUMPTION.	 AIA G703 CONTINUATION SHEET AS AN ATTACHMENT TO AIA G702 SUBCONTRACTOR LIST LIEN WAIVERS (GENERAL CONTRACTORS & SUBCONTRACTORS)
	J. LIGHTING: PROVIDE TEMPORARY LIGHTING WITH LOCAL SWITCHING THAT PROVIDES ADEQUATE ILLUMINATION FOR CONSTRUCTION OPERATIONS, OBSERVATIONS, INSPECTIONS, AND TRAFFIC CONDITIONS. INSTALL AND OPERATE TEMPORARY LIGHTING THAT FULFILLS	 LIEN AFFIDAVIT FORM (AIA G706A WITH "NO EXCEPTIONS") UPDATE CONSTRUCTION BAR CHART SCHEDULE RI HOUSING AFFIRMATIVE ACTION REPORTS
	SECURITY AND PROTECTION REQUIREMENTS WITHOUT OPERATING ENTIRE SYSTEM. K. PARKING: THE CONTRACTOR IS RESPONSIBLE FOR SECURING PARKING FOR THEIR PERSONNEL AND WORK VEHICLES AS WELL AS ALL FEES ASSOCIATED WITH THE SAME.	 WEEKLY CERTIFIED PAYROLLS APPROVED CHANGE ORDERS WITH BACK-UP (IF ANY) CONSENT OF SURETY IF PARTIAL OR FINAL RELEASE OF RETAINAGE
	L. WASTE DISPOSAL FACILITIES: COORDINATE WITH THE OWNER DURING THE PRECONSTRUCTION MEETING. COLLECT WASTE FROM CONSTRUCTION AREAS AND ELSEWHERE DAILY. COMPLY WITH REQUIREMENTS OF NFPA 241 FOR REMOVAL OF	 STORED MATERIAL INVOICES (INSURANCE CERTIFICATE, OWNER INSPECTION TITLE TRANSFER FOR OFF-SITE MATERIALS) INVOICES FOR DIRECT PAYMENT
	COMBUSTIBLE WASTE MATERIAL AND DEBRIS. ENFORCE REQUIREMENTS STRICTLY. HANDLE HAZARDOUS, DANGEROUS, OR UNSANITARY WASTE MATERIALS SEPARATELY FROM OTHER WASTE BY CONTAINERIZING PROPERLY. DISPOSE OF MATERIAL LAWFULLY.	 INSURANCE CERTIFICATES, PERMITS & BONDS SUBMITTED PRIOR TO ANY R OF PAYMENTS 100% PAYMENT & PERFORMANCE BONDS (AIA A312)
	 M. LIFTS AND HOISTS: PROVIDE FACILITIES NECESSARY FOR HOISTING MATERIALS AND PERSONNEL. N. EXISTING ELEVATOR USE: USE OF OWNER'S EXISTING ELEVATORS MAY BE PERMITTED. 	 b. PROJECT CLOSE-OUT DOCUMENTATION: RIH INSPECTING ARCHITECT CERTIFICATION WITH A/E PUNCH LIST SIGN-OFI EXECUTED AIA SUBSTANTIAL COMPLETION FORM
	PROVIDED ELEVATORS ARE CLEANED AND MAINTAINED IN A CONDITION ACCEPTABLE TO OWNER. AT SUBSTANTIAL COMPLETION, RESTORE ELEVATORS TO CONDITION EXISTING BEFORE INITIAL USE.	CONTRACTOR & SUBCONTRACTOR 1YR WRITTEN WARRANTY EVIDENCE OF NON RESIDENT CONTRACTOR COMPLIANCE "AS BUILT DRAWINGS" WITH ARCHITECT'S TRANSMITTAL OF COMPLIANCE
	 a. DO NOT LOAD ELEVATORS BEYOND THEIR RATED WEIGHT CAPACITY. b. PROVIDE PROTECTIVE COVERINGS, BARRIERS, DEVICES, SIGNS, OR OTHER PROCEDURES TO PROTECT ELEVATOR CAR AND ENTRANCE DOORS AND FRAME. IF. 	 SUBMISSION OF FINAL REQUISITIION WITH ALL REQUIRED BACK-UP OPERATING AND MAINTENANCE (O&M) MANUALS FINAL COMMISSIONING REPORTS AND SYSTEMS MANUALS
	DESPITE SUCH PROTECTION, ELEVATORS BECOME DAMAGED, ENGAGE ELEVATOR INSTALLER TO RESTORE DAMAGED WORK SO NO EVIDENCE REMAINS OF CORRECTION WORK, RETURN ITEMS THAT CANNOT BE REFINISHED IN FIELD TO THE SHOP, MAKE	 PROVIDE A MIN. 20-YEAR ROOF WARRANTY; REFER TO DIVISION 07 SPECIFI FOR ADDITIONAL INFORMATION PROVIDE ROOF MANUFACTURER'S WRITTEN SIGN OFF ON ROOF WORK
	REQUIRED REPAIRS AND REFINISH ENTIRE UNIT, OR PROVIDE NEW UNITS AS REQUIRED. O. MATERIAL / DEBRIS TRANSPORT: TRANSFER ALL MATERIALS AND DEBRIS THROUGH THE BUILDING IN A MATTER TO MINIMIZE DUST, DIRT, AND VAPOR MIGRATION. COVER AND WRAP	 PROVIDE FLOOD TEST OF ROOF AT PROJECT COMPLETION c. WARRANTIES AND GUARANTEES: THE CONTRACTOR SHALL INCLUDE, WITHIN THE OPERATING AND MAINTEN.
	ALL PRODUCTS BEING TRANSPORTED TO PREVENT LEAKAGE AND SPILLAGE. PROVIDE MOPPING AND VACUUMING OF ALL AREAS OUTSIDE THE CONTRACT AREA AS REQUIRED IN MAINTAINING A CLEAN PUBLIC ENVIRONMENT.	MANUAL ORGANIZATIONAL STRUCTURE FOR EACH SYSTEM, EQUIPMENT IT MATERIAL, AN EXECUTED COPY OF THE SPECIFIED WARRANTY/GUARANTE WARRANTY EFFECTIVE DATES COVERING THAT PARTICULAR SYSTEM. EQU
	 a. TRANSPORT ALL MATERIALS, DEBRIS, AND PRODUCTS ALONG A PATH AS DIRECTED BY THE RHODE ISLAND HOUSING PROJECT MANAGER. P. EXISTING STAIR USAGE: USE OF OWNER'S EXISTING STAIRS MAY BE PERMITTED, PROVIDED 	ITEM, OR MATERIAL CONTRACTOR SHALL INCLUDE THE MANUFACTURER'S WARRANTY AS SPECIFIED AND THE INSTALLING SUBCONTRACTOR'S AND S GUARANTEE FOR WORKMANSHIP AND SYSTEM OPERATION.
	STAIRS ARE CLEANED AND MAINTAINED IN A CONDITION ACCEPTABLE TO OWNER. AT SUBSTANTIAL COMPLETION, RESTORE STAIRS TO CONDITION EXISTING BEFORE INITIAL USE. a. PROVIDE PROTECTIVE COVERINGS, BARRIERS, DEVICES, SIGNS, OR OTHER	 d. REQUIREMENTS FOR COMMISSIONING AND CLOSE-OUT MANUAL: • THE CONTRACTOR SHALL INCORPORATE ALL COMMISSIONING, INSPECTIOI CLOSE-OUT DOCUMENTATION AND/OR VERIFICATION DOCUMENTS NOT INCOMPOSITION
	a. PROVIDE PROTECTIVE COVERINGS, DARIERS, DEVICES, SIGNS, OR OTHER PROCEDURES TO PROTECT STAIRS AND TO MAINTAIN MEANS OF EGRESS. IF STAIRS BECOME DAMAGED, RESTORE DAMAGED AREAS SO NO EVIDENCE REMAINS OF CORRECTION WORK.	THE OPERATING AND MAINTENANCE MANUALS, INTO A SEPARATE COMMIS AND CLOSE-OUT MANUAL FOR TRANSMITTAL TO THE OWNER AT THE CONC OF THE PROJECT. THE COMMISSIONING AND CLOSE-OUT MANUAL IS INTEN
	Q. PROTECTION OF EXISTING FACILITIES: PROTECT EXISTING VEGETATION, EQUIPMENT, STRUCTURES, UTILITIES, AND OTHER IMPROVEMENTS AT PROJECT SITE AND ON ADJACENT	BE A CONSOLIDATION OF DOCUMENTATION/VERIFICATION FOR THE PROJE COMMISSIONING AND CLOSE-OUT PROCESS. UPDATE THE COMMISSIONING
	PROPERTIES, EXCEPT THOSE INDICATED TO BE REMOVED OR ALTERED. REPAIR DAMAGE TO EXISTING FACILITIES. R. ENVIRONMENTAL PROTECTION: PROVIDE PROTECTION, OPERATE TEMPORARY FACILITIES, AND CONDUCT CONSTRUCTION AS REQUIRED TO COMPLY WITH ENVIRONMENTAL	CLOSE-OUT MANUAL THROUGHOUT THE PROJECT, SO THAT THE DOCUMEN PROCESS CAN BE EXPEDITED AND MONITORED. REFER TO M-DWGS FOR A INFORMATION. • THE COMMISSIONING AND CLOSE-OUT MANUAL IS NOT INTENDED TO IMPO
	REGULATIONS AND THAT MINIMZE POSSIBLE AIR, WATERWAY, AND SUBSOIL CONTAMINATION OR POLLUTION OR OTHER UNDESIRABLE EFFECTS. S. TEMPORARY FIRE PROTECTION: INSTALL AND MAINTAIN TEMPORARY FIRE-PROTECTION	DUPLICATION OF CLOSEOUT DOCUMENTS. THOSE ITEMS AND/OR DATA TH. INCORPORATED INTO THE OPERATING AND MAINTENANCE MANUALS NEED INCLUDED IN THE COMMISSIONING AND CLOSE-OUT MANUAL.
	5. TEMPORARY FIRE PROTECTION. INSTALL AND MAINTAIN TEMPORARY FIRE-PROTECTION FACILITIES OF TYPES NEEDED TO PROTECT AGAINST REASONABLY PREDICTABLE AND CONTROLLABLE FIRE LOSSES. DEVELOP AND SUBMIT A PLAN FOR COMPLIANCE WITH NFPA 241: MANAGE FIRE-PREVENTION PROGRAM.	8. USE OF THE SITE: A. THE CONTRACTOR SHALL CONFINE CONSTRUCTION EQUIPMENT, THE STORAGE OF
	T. SECURITY ENCLOSURE AND LOCKUP: INSTALL TEMPORARY ENCLOSURE AROUND PARTIALLY COMPLETED AREAS OF CONSTRUCTION. PROVIDE LOCKABLE ENTRANCES TO PREVENT	MATERIALS AND EQUIPMENT AND THE OPERATIONS OF WORKERS TO THE PROJECT AND LAND AND AREAS IDENTIFIED IN AND PERMITTED BY THE CONTRACT DOCUMEN OTHER LAND AND AREAS PERMITTED BY LAWS AND REGULATIONS, RIGHTS-OF-WAY
	UNAUTHORIZED ENTRANCE, VANDALISM, THEFT, AND SIMILAR VIOLATIONS OF SECURITY. PROVIDE LOCKS TO ALLOW INSERTION OF OWNER'S CYLINDER OR INSTALL OWNER'S LOCK. OWNER WILL PROVIDE KEY. CONTRACTOR TO INSTALL CYLINDER WHERE REQUIRED. LOCK	PERMITS AND EASEMENTS. CONTRACTOR SHALL NOT UNREASONABLY ENCUMBER PREMISES WITH CONSTRUCTION EQUIPMENT OR OTHER MATERIALS OR EQUIPMEN SHALL ASSUME FULL RESPONSIBILITY FOR ANY DAMAGE TO ANY SUCH LAND OR AR
	ENTRANCES AT END OF EACH WORK DAY. U. BARRICADES, WARNING SIGNS, AND LIGHTS: COMPLY WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION FOR ERECTING STRUCTURALLY ADEQUATE BARRICADES, INCLUDING	TO THE OWNER OR OCCUPANT THEREOF OR OF ANY LAND OR AREAS CONTIGUOUS THERETO, RESULTING FROM CONTRACTOR'S OPERATIONS AT THE SITE OR THE PERFORMANCE OF THE WORK. CONTRACTOR'S USE OF THE SITE SHALL NOT IMPED
	 WARNING SIGNS AND LIGHTING. V. TEMPORARY EGRESS: MAINTAIN TEMPORARY EGRESS FROM EXISTING OCCUPIED FACILITIES AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION. 	OR ENDANGER DAILY ONGOING OPERATIONS OF THE OWNER. IF CONTRACTOR MU OPERATIONS, MOVE STORED MATERIALS ON SITE OR WITHIN THE BUILDING OR SIT OTHERWISE ACCOMMODATE OWNER'S ONGOING DAILY OPERATIONS THROUGH TH
	W. TEMPORARY ENCLOSURES: PROVIDE TEMPORARY ENCLOSURES FOR PROTECTION OF CONSTRUCTION, IN PROGRESS AND COMPLETED, FROM CONSTRUCTION OPERATIONS, AND SIMILAR ACTIVITIES. TEMPORARY PARTITIONS SHALL EXTEND FROM THE FLOOR TO	OR FAILURE OF CONTRACTOR, THEN CONTRACTOR SHALL DO SO AT NO ADDITION/ OR DELAY TO OWNER. B. SHOULD ANY CLAIM BE MADE AGAINST OWNER OR ARCHITECT BY ANY SUCH OWN
	UNDERSIDE OF STRUCTURAL DECK, DUSTPROOF PARTITIONS TO LIMIT DUST AND DIRT MIGRATION AND TO SEPARATE AREAS OCCUPIED BY OWNER AND TENANTS FROM FUMES AND NOISE. PROTECT AIR-HANDLING EQUIPMENT. PROVIDE WALK-OFF MATS AT EACH	OCCUPANY DESCRIBED ABOVE, CONTRACTOR SHALL PROMPTLY ATTEMPT TO SET OTHERWISE RESOLVE SUCH CLAIM DIRECTLY WITH SUCH OTHER PARTY, BY AGRE OTHERWISE. CONTRACTOR SHALL, TO THE FULLEST EXTENT PERMITTED BY LAW,
3.	ENTRANCE THROUGH TEMPORARY PARTITION. USE OF PREMISES: A. GENERAL: CONTRACTOR SHALL HAVE LIMITED USE OF PREMISES FOR CONSTRUCTION	AND HOLD OWNER AND ARCHITECT HARMLESS FROM AND AGAINST ALL CLAIMS, D LOSSES, AND EXPENSES (INCLUDING, BUT NOT LIMITED TO, FEES OF ENGINEERS, ARCHITECTS, ATTORNEYS, AND OTHER PROFESSIONALS AND COURT AND ARBITR/
	OPERATIONS AS DIRECTED AND OUTLINED BY THE OWNER. B. USE OF SITE: LIMIT USE OF PREMISES TO WORK IN AREAS INDICATED. THE ADJACENT AREAS WILL REMAIN OPERATIONAL DURING THE ENTIRE CONSTRUCTION PERIOD. DO NOT DISTURB	COSTS) ARISING DIRECTLY, INDIRECTLY, OR CONSEQUENTIALLY OUT OF ANY ACTI OR EQUITABLE, BROUGHT BY ANY SUCH OTHER PARTY AGAINST OWNER OR ARCH THE EXTENT BASED ON A CLAIM ARISING OUT OF CONTRACTOR'S SITE OPERATION
	PORTIONS OF PROJECT SITE BEYOND AREAS IN WHICH THE WORK IS INDICATED. a. LIMITS: CONFINE CONSTRUCTION OPERATIONS TO THE CONTRACT LIMIT LINES. b. OWNER OCCUPANCY: ALLOW FOR OWNER OCCUPANCY OF ADJACENT AREAS AND USE	PERFORMANCE OF THE WORK. C. THE CONTRACTOR, ITS SUBCONTRACTORS, AND ANY SEPARATE CONTRACTOR UN DIRECT CONTRACT WITH OWNER SHALL BE RESPONSIBLE FOR SECURING THEIR O
	BY THE PUBLIC. c. SIDEWALKS AND ENTRANCES: KEEP SIDEWALKS AND ENTRANCES SERVING PREMISES CLEAR AND AVAILABLE TO OWNER, OWNER'S EMPLOYEES, THE GENERAL PUBLIC, AND	AND THEIR OWN EQUIPMENT AT THE CLOSE OF EACH WORKDAY. D. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING, AND SU ALL SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK AND
	EMERGENCY VEHICLES AT ALL TIMES. DO NOT USE THESE AREAS FOR PARKING OR STORAGE OF MATERIALS. d. SCHEDULE DELIVERIES TO MINIMIZE USE OF SIDEWALKS AND ENTRANCES.	TAKE ALL NECESSARY PRECAUTIONS FOR THE SAFETY OF, AND PROVIDE THE NEC PROTECTION TO PREVENT DAMAGE, INJURY OR LOSS TO (I) ALL EMPLOYEES ON TH AND OTHER PERSONS AND ORGANIZATIONS WHO MAY BE AFFECTED THEREBY, (II)
	 e. SCHEDULE DELIVERIES TO MINIMIZE SPACE AND TIME REQUIREMENTS FOR STORAGE OF MATERIALS AND EQUIPMENT ON-SITE. f. IF REQUIRED, CONTRACTOR RESPONSIBLE FOR APPLICATION OF CONSTRUCTION 	WORK AND MATERIALS OR EQUIPMENT TO BE INCORPORATED THEREIN, WHETHER STORAGE ON OR OFF THE SITE, AND (III) OTHER PROPERTY AT THE SITE OR ADJAC THERETO, INCLUDING TREES, SHRUBS, LAWNS, WALKS, PAVEMENTS, ROADWAYS,
	STREET / SIDEWALK CLOSING PERMIT C. USE OF EXISTING BUILDING: REPAIR DAMAGE CAUSED BY CONSTRUCTION OPERATIONS. PROTECT BUILDING AND ITS OCCUPANTS DURING CONSTRUCTION PERIOD.	STRUCTURES, UTILITIES, AND UNDERGROUND FACILITIES NOT DESIGNATED FOR R RELOCATION, OR REPLACEMENT IN THE COURSE OF CONSTRUCTION. E. IF THE OWNER OR ARCHITECT REQUIRES CONTRACTOR TO RELOCATE MATERIALS
4.	 COORDINATION WITH OCCUPANTS: A. PARTIAL OWNER OCCUPANCY: OWNER WILL OCCUPY THE PREMISES DURING ENTIRE CONSTRUCTION PERIOD, WITH THE EXCEPTION OF AREAS UNDER CONSTRUCTION. 	 HAVE BEEN STORED ON SITE OR WITHIN THE BUILDING, CONTRACTOR SHALL RELO SUCH MATERIALS AT NO ADDITIONAL COST TO THE OWNER. F. THE CONTRACTOR SHALL MAINTAIN THE EXISTING BUILDING IN A WEATHER TIGHT
	COOPERATE WITH OWNER DURING CONSTRUCTION OPERATIONS TO MINIMIZE CONFLICTS AND FACILITATE OWNER USAGE. PERFORM THE WORK SO AS NOT TO INTERFERE WITH OWNER'S OPERATIONS. MAINTAIN EXISTING EXITS UNLESS OTHERWISE INDICATED.	THROUGHOUT THE CONSTRUCTION OF THE PROJECT, AND SHALL REPAIR ANY AND DAMAGE THERETO CAUSED BY ITS CONSTRUCTION OPERATIONS. THE CONTRACT TAKE ALL PRECAUTIONS NECESSARY TO PROTECT THE EXISTING BUILDING AND IT
	a. MAINTAIN ACCESS TO EXISTING WALKWAYS, CORRIDORS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT WALKWAYS, CORRIDORS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION FROM	OCCUPANTS DURING THE COURSE OF THE CONSTRUCTION AND PERFORMANCE O CONTRACTOR'S WORK. G. THE CONTRACTOR SHALL NOT LOAD NOR PERMIT ANY PART OF ANY STRUCTURE 1
	OWNER AND AUTHORITIES HAVING JURISDICTION. b. PROVIDE NOT LESS THAN 72 HOURS' NOTICE TO OWNER OF ACTIVITIES THAT WILL AFFECT OWNER'S OPERATIONS.	LOADED IN ANY MANNER THAT WILL ENDANGER THE STRUCTURE, NOR SHALL CON SUBJECT ANY PART OF THE WORK OR ADJACENT PROPERTY TO STRESSES OR PR THAT WILL ENDANGER IT.
5.	. WORK RESTRICTIONS: A. WORK RESTRICTIONS, GENERAL: COMPLY WITH RESTRICTIONS ON CONSTRUCTION OPERATIONS.	H. THE CONTRACTOR SHALL PERFORM WORK SO AS NOT TO INTERFERE WITH OWNEL ONGOING ACTIVITIES AND SO AS NOT TO CREATE ANY HAZARDS TO THE OWNER'S EMPLOYEES OR MEMBERS OF THE PUBLIC USING THE OWNER'S PROPERTY.
	 a. COMPLY WITH LIMITATIONS ON USE OF PUBLIC STREETS AND WITH OTHER REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. B. ON-SITE WORK HOURS: ALL WORK UNDER THIS CONTRACT SHALL BE PERFORMED DURING 	 BEFORE THE CONTRACTOR STARTS THE WORK AT THE SITE, A CONFERENCE ATTENDE CONTRACTOR, THE OWNER, ARCHITECT AND OTHERS AS APPROPRIATE WILL BE HELD DISCUSS THE SCHEDULES AND OTHER PRELIMINARY MATTERS REFERRED TO IN THIS A
	THE OWNER'S REGULAR BUSINESS WORK HOURS (7AM - 4PM), UNLESS OTHERWISE INDICATED OR ADJUSTED BY THE OWNER. WORK ON SATURDAYS AND SUNDAYS MAY BE ALLOWED ONLY AFTER REVIEW AND APPROVAL BY THE OWNER.	ALONG WITH PROCEDURES FOR HANDLING SHOP DRAWINGS AND OTHER SUBMITTALS PROCESSING APPLICATIONS FOR PAYMENT, AND TO ESTABLISH OTHER PROCEDURES / UNDERSTANDINGS BEARING UPON COORDINATION, PERFORMANCE, AND COMPLETION
	C. EXISTING UTILITY INTERRUPTIONS: DO NOT INTERRUPT UTILITIES SERVING FACILITIES OCCUPIED BY OWNER OR OTHERS UNLESS PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER PROVIDING TEMPORARY UTILITY SERVICES ACCORDING TO	WORK.10. THE CONTRACTOR SHALL WORK SUCH HOURS, INCLUDING NIGHT SHIFTS AND OVERTIN OPERATIONS, AS MAY BE NECESSARY TO ENSURE THE EXECUTION OF THE WORK IN
	REQUIREMENTS INDICATED: a. NOTIFY OWNER NOT LESS THAN TWO DAYS IN ADVANCE OF PROPOSED UTILITY INTERRUPTIONS.	ACCORDANCE WITH THE APPROVED PROJECT CONSTRUCTION SCHEDULE. CONTRACT CONTINUOUSLY MONITOR THE CONSTRUCTION SCHEDULE AND ADVISE OWNER ON A R BASIS OF THE STATUS OF CONTRACTOR'S PROGRESS WITH RESPECT TO SUCH SCHED
	 b. OBTAIN OWNER'S WRITTEN PERMISSION BEFORE PROCEEDING WITH UTILITY INTERRUPTIONS. c. ANY APPROVED INTERRUPTIONS SHALL BE PERFORMED DURING THE OWNER'S 	ANY TIME OWNER REQUESTS CONTRACTOR TO DO SO, INCLUDING THE FURNISHING OF INFORMATION ON THE STATUS OF SHOP DRAWINGS, SAMPLES, SUBMITTALS AND MATE MACHINERY OR EQUIPMENT WHICH MAY BE IN THE COURSE OF PREPARATION OF MANU
	 BUSINESS OFF WORK HOURS OR ON WEEKEND DAYS. NOISE, VIBRATION, AND ODORS: COORDINATE OPERATIONS THAT MAY RESULT IN HIGH LEVELS OF NOISE AND VIBRATION, ODORS, OR OTHER DISRUPTIONS TO OWNER OCCUPANCY 	 CONTRACTOR TO VERIFY PROPOSED EQUIPMENT SIZING WITH EXISTING CONDITIONS P ORDERING. IF CONFLICTS OCCUR, CONTACT PROJECT ARCHITECT IN WRITING IMMEDIA
	 ELEVELS OF NOISE AND VIBRATION, ODORS, OR OTHER DISROPTIONS TO OWNER OCCUPANCY WITH OWNER. E. NONSMOKING BUILDING: SMOKING IS NOT PERMITTED ON THE PROJECT SITE OR WITHIN 25 FEET OF ENTRANCES, OPERABLE WINDOWS, OR OUTDOOR-AIR INTAKES. 	
	 FEET OF ENTRANCES, OPERABLE WINDOWS, OR OUTDOOR-AIR INTAKES. F. CONTROLLED SUBSTANCES: USE OF TOBACCO PRODUCTS AND OTHER CONTROLLED SUBSTANCES ON THE PROJECT SITE IS NOT PERMITTED. G. INAPPROPRIATE LANGUAGE: USE OF INAPPROPRIATE OR FOUL LANGUAGE ON THE PROJECT 	
	G. INAPPROPRIATE LANGUAGE: USE OF INAPPROPRIATE OR FOUL LANGUAGE ON THE PROJECT SITE IS NOT PERMITTED. THE OWNER RESERVES THE RIGHT TO IMMEDIATELY REMOVE FROM THE PROJECT SITE ANY WORKER FOUND USING INAPPROPRIATE AND/OR FOUL LANGUAGE.	

DIVISION 07- FULLY ADHER ROOFING SYSTEM

PART 1 GENERAL GENERAL NOTES

A. PRECEDING JOB START UP, CONTRACTOR SHALL DECIDE TO TH SPECIFICATIONS CONTAINED HEREIN ARE WORKABLE. B. CONTRACTOR WILL PERFORM ALL WORK BY COMPETENT, TRAI EQUIPPED PERSONNEL IN STRICT ACCORDANCE WITH GOOD ROOM APPLICABLE INDUSTRY STANDARDS. C. CONTRACTOR WILL OBSERVE ALL PUBLISHED SAFETY PREVENT PRACTICES RELATING TO APPLICATION OF ROOFING SYSTEM AND FEDERAL, STATE, AND LOCAL CODES SHALL BE FOLLOWED. 1.01 SECTION INCLUDES

A. SUBSTRATE PREPARATION. B. WOOD NAILER INSTALLATION.

C. MEMBRANE INSTALLATION. D. MEMBRANE FLASHING INSTALLATION.

1.02 SCOPE OF WORK

- A. WORK UNDER THIS SECTION COVERS THE INSTALLATION OF A M REINFORCED EPDM ROOFING SYSTEM AT THE GARR BUILDING, PR CONTRACTOR SHALL INCLUDE ALL RELATED ITEMS OF WORK AS I COMPLETE THE SPECIFIED ELEMENTS OF WORK AND PROVIDE TH FOR THIS WORK. B. INSTALL NEW FULLY ADHERED REINFORCED EPDM MEMBRANE REQUIREMENTS.
- C. OWNER SHALL PROVIDE INTERIOR PROTECTION FOR DUST ONL D. OWNER SHALL MAKE COLOR SELECTIONS FOR ALL EXPOSED M 1.03 DEFINITIONS
- A. ROOFING TERMINOLOGY: REFER TO ASTM D1079 FOR DEFINITION ROOFING WORK NOT OTHERWISE DEFINED IN THE SECTION B. HOLCIM ELEVATE: 26 CENTURY BLVD. SUIT 205 NASHVILLE. TN 3
- 1.04 SYSTEM DESCRIPTION A. REINFORCED EPDM ROOFING MEMBRANE FULLY ADHERED TO C MECHANICALLY FASTENED THROUGH NEW ISOCYANURATE INSUL DECK

1.05 SUBMITTALS

A. PRODUCT DATA: 1. SUBMIT COPIES OF TECHNICAL INFORMATION SHEETS (TIS) USED INCLUDING ROOF MEMBRANE, INSULATION, FASTENERS

1.06 QUALITY ASSURANCE A. MANUFACTURER:

- 1. COMPANY SPECIALIZING IN MANUFACTURING THE ROOFING SECTION WITH TEN YEARS OF MANUFACTURING EXPERIENCE. 2. SYSTEM SUPPLIER MUST HAVE ISO 9002 CERTIFICATION.
- 3. MANUFACTURER MUST BE ABLE TO PROVIDE THE PROJEC ISOCYANURATE INSULATION THAT IS PRODUCED IN THEIR FAC B. APPLICATOR:
- 1. SHALL BE A CERTIFIED LICENSED CONTRACTOR OF THE MA 2. SHALL HAVE A FULLY STAFFED OFFICE WITHIN 50 MILES OF
- 1.07 REGULATORY REQUIREMENTS A. CONFORM TO APPLICABLE LOCAL BUILDING CODE REQUIREME B. FACTORY MUTUAL RESEARCH CORPORATION (FM): ROOF ASSE CONSTRUCTION BULLETIN 1-28 AND 1-29.

1.08 QUALITY INSPECTION/OBSERVATION

A. INSPECTION BY MANUFACTURER: PROVIDE A FINAL INSPECTIO BY A TECHNICAL REPRESENTATIVE EMPLOYED BY ROOFING SYST . TECHNICAL REPRESENTATIVE SHALL NOT PERFORM ANY 2. CONTRACTOR SHALL COMPLETE ANY NECESSARY REPAIR OF WARRANTY.

1.09 PRE-INSTALLATION CONFERENCE A. BEFORE START OF ROOFING WORK, ATTEND A CONFERENCE INSTALLATION OF MATERIALS. ATTENDEES SHALL INCLUDE ALL PA WORK OF THIS SECTION.

1.10 DELIVERY, STORAGE AND HANDLING

A. DELIVER PRODUCTS IN MANUFACTURER'S ORIGINAL CONTAINE AND LABELS INTACT AND LEGIBLE. B. STORE ALL MATERIALS CLEAR OF GROUND AND MOISTURE WIT COVERING C. KEEP ALL COMBUSTIBLE MATERIALS AWAY FROM ALL IGNITION

1.11 ENVIRONMENTAL REQUIREMENTS

A. INSTALL ROOFING MEMBRANE ONLY WHEN SURFACES ARE CLE OF SNOW OR ICE. B. DO NOT APPLY ROOFING MEMBRANE DURING INCLEMENT WEAT CONDITIONS WILL NOT ALLOW PROPER APPLICATION.

12 WARRANTY

- A. TYPE/TERM: 1. PROVIDE 20-YEAR RED SHIELD ROOFING SYSTEM WARRAN WARRANTY SHALL INCLUDE MEMBRANE, COVERBOARD, ROOF PRODUCTS SUPPLIED BY ROOF SYSTEM MANUFACTURER. B. COVERAGE:
- 1. LIMIT OF LIABILITY: NO DOLLAR LIMITATION 2. SCOPE OF COVERAGE:
- REPAIR ANY LEAK IN THE EPDM ROOFING SYSTEM CAUSED BY TEAR OF THE ELEMENTS, MANUFACTURING DEFECT IN MATER USED TO INSTALL THESE MATERIALS.

PART 2 PRODUCTS

2.01 NAILERS FOR FLANGES AND ROOF ACCESSORIES

- A. DESCRIPTION: STRUCTURAL GRADE NO. 2 OR BETTER SOUTHE EXTERIOR GRADE PLYWOOD. ALL WOOD SHALL BE PRESSURE TH 1. NAILER WIDTH: MINIMUM 3 1/2 IN. (NOMINAL) WIDE OR AS V OF EACH ROOF ACCESSORY. 2. NAILER THICKNESS: THICKNESS OF ROOF INSULATION.
- B. REFERENCE STANDARDS: 1. SOUTHERN PINES: PS 20; SPIB GRADING RULES. 2. WESTERN WOODS: PS 20; WWPA GRADING RULES. 3. PLYWOOD: PS 1; APA GRADE STAMPS. 4. PRESSURE PRESERVATIVE TREATMENT: AWPB LP2.

2.02 MANUFACTURERS - MEMBRANE MATERIALS

A. BASIS OF DESIGN: ELEVATE RUBBER GUARD 90-MIL PLATINUM

2.03 ELASTOMERIC SHEET ROOFING AND FLASHING MEMBRANE

A. DESCRIPTION: REINFORCED, SYNTHETIC SINGLE-PLY MEMBRANE CO PROPYLENE DIENE TERPOLYMER (EPDM) CONFORMING TO THE FOLLO

1. MEMBRANE TYPE: .060 REINFORCED MAX EPDM PROPERTY: SPECIFI

SPECIFIC GRAVITY 1.15 +/- 0.05

TENSILE STRENGTH, MINIMUM, PSI (MPA) 1305 (9)

ELONGATION, MINIMUM, % 300

TEAR RESISTANCE, LBF / IN (KN / M) 150 (26.3)

OZONE RESISTANCE, 166 HOURS @ 100 PPHM @ 104°F WITH 50% EXTENSION NO CRACKS

HEAT AGING, 28 DAYS @ 240°F TENSILE STRENGTH, MINIMUM PSI (MPA) 1205 (8.3) ELONGATION, MINIMUM % 200

BRITTLENESS POINT, MAX., °F, °C -65

WATER ABSORPTION, CHANGE IN WEIGHT AFTER IMMERSION IN WATER FOR 166 HOURS @ 158°F, % +8, -2 TOLERANCE ON NOMINAL THICKNESS, % +/- 10

WATER VAPOR PERMEABILITY, PERM-MILS 2.0

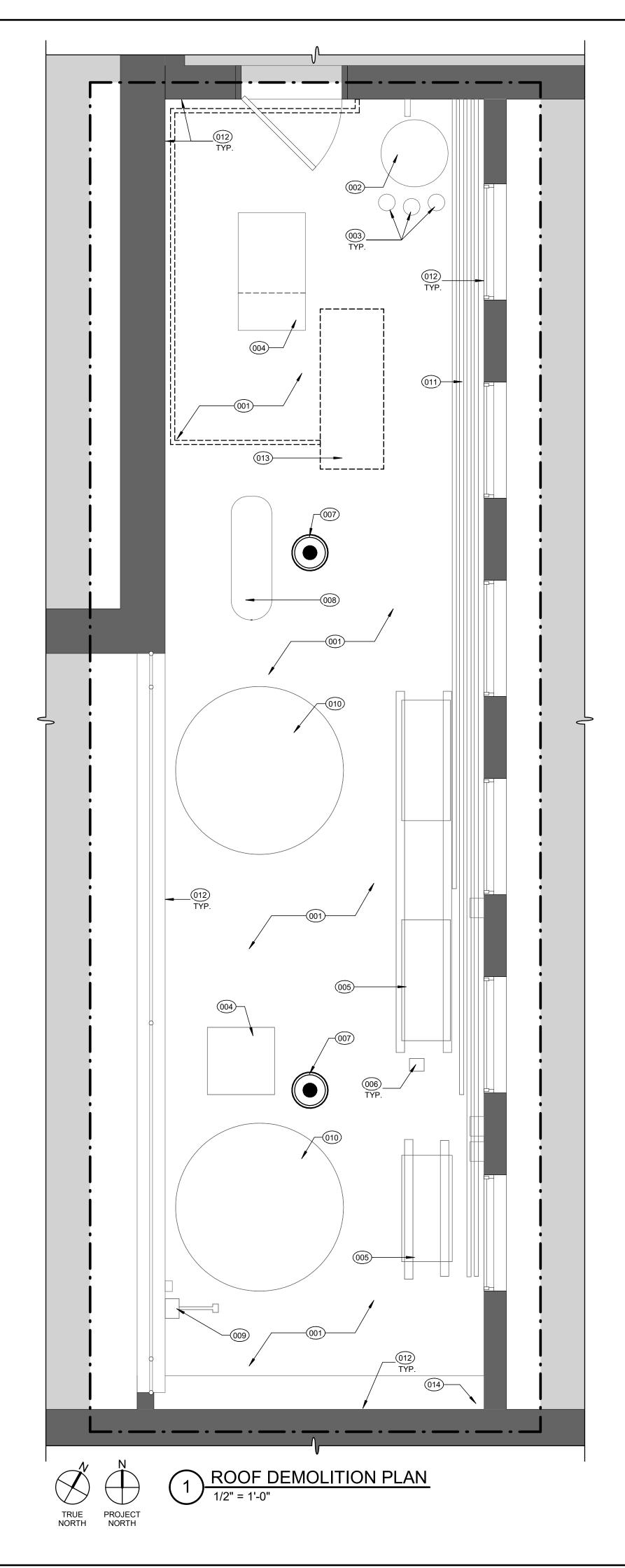
- B. REFERENCE STANDARDS: . ASTM D4637-96: STANDARD SPECIFICATION FOR EPDM SHEET USEI
- MEMBRANE
- 2. ASTM D297: METHODS FOR RUBBER PRODUCTS, CHEMICAL ANALYS 3. ASTM D412, DIE C: TEST METHODS FOR RUBBER PROPERTIES IN TE
- 4. ASTM D471: TEST METHODS FOR RUBBER PROPERTY, EFFECT OF I
- 5. ASTM D573: TEST METHOD FOR RUBBER, DETERIORATION IN AN AIF 6. ASTM D624, DIE C: TEST METHOD FOR RUBBER PROPERTY-TEAR RES

ION 3 ARCHITECTS. REPRODUCTION IS PROHIBITED.

RED EPDM M	DIVISION 07- FULLY ADHERED EPDM ROOFING SYSTEM CONT.	VISION 3 ARCHITECTS
THEIR SATISFACTION THAT ALL	 2.04 COVERBOARD A. DESCRIPTION: NON-STRUCTURAL, GLASS MAT FACED, SILICON TREATED GYPSUM PANEL. 1. THICKNESS: ½" 2. NOMINAL SIZE: 4' X 8' 3. PRODUCT/PRODUCER: GEORGIA PACIFIC DENSDECK PRIME OR SECUROCK 	225 CHAPMAN STREET PROVIDENCE, RI 02905 401.461.7771 v3@vision3architects.com
AINED, AND PROPERLY DOFING PRACTICES AND ENTION POLICIES AND ND RELATED WORK. ALL	 2.05 INSULATION FASTENER A. INSULATION FASTENER 1. DESCRIPTION: HEAVY DUTY FASTENER WITH 4-COAT FLUOROCARBON POLYMER COATING AND DRILL POINT TIP CAPABLE OF PENETRATING 20 GAUGE STEEL. LENGTH SHALL BE SUFFICIENT TO PENETRATE DECK A MINIMUM OF 3/4" FOR STEEL AND 1" FOR WOOD AND CONCRETE. PART 3 EXECUTION 3.01 EXAMINATION 	www.vision3architects.com BUILDING ENVELOPE CONSULTANT: BUILDING ENCLOSURE SCIENCE, LLC
A NEW FULLY ADHERED PROVIDENCE, RI. IN ADDITION, S NOTED HEREIN REQUIRED TO THE NECESSARY WARRANTIES NE PER MANUFACTURER'S ONLY. D METAL FLASHINGS. ITION OF TERMS RELATED TO N 37214 O COVERBOARD THAT IS JLATION AND EXISTING WOOD	 A. EXAMINE ROOF DECK TO DETERMINE THAT IT IS SUFFICIENTLY RIGID TO SUPPORT ROOFERS AND THEIR MECHANICAL EQUIPMENT AND THAT DEFLECTION WILL NOT STRAIN OR RUPTURE ROOF COMPONENTS OR DEFORM DECK. B. VERIFY THAT SURFACES AND SITE CONDITIONS ARE READY TO RECEIVE WORK. CORRECT DEFECTS IN THE SUBSTRATE BEFORE COMMENCING WITH ROOFING WORK. C. START WORK WITH SEALANTS AND ADHESIVES AT 60° - 80° F. D. THE SURFACE MUST BE CLEAN, DRY, SMOOTH, FREE OF SHARP EDGES, FINS, LOOSE OR FOREIGN MATERIALS, OIL, GREASE AND OTHER MATERIALS WHICH MAY DAMAGE THE MEMBRANE. ALL ROUGHENED SURFACES WHICH COULD CAUSE DAMAGE SHALL BE PROPERLY REPAIRED BEFORE PROCEEDING. E. ALL SURFACE VOIDS OF THE IMMEDIATE SUBSTRATE GREATER THAN 1/4" WIDE MUST BE PROPERLY FILLED WITH AN ACCEPTABLE INSULATION OR SUITABLE FILL MATERIAL. 3.02 PROTECT NETAL, GLASS, PLASTIC, AND PAINTED SURFACES FROM ADHESIVES AND SEALANTS. B. PROTECT NETAL, GLASS, PLASTIC, AND PAINTED SURFACES FROM ADHESIVES AND SEALANTS. C. PROTECT NEIGHBORING WORK, PROPERTY, CARS, AND PERSONS FROM SPILLS AND OVERSPRAY FROM ADHESIVES, SEALANTS AND COATINGS. C. PROTECT FINISHED AREAS OF THE ROOFING SYSTEM FROM ROOFING RELATED WORK TRAFFIC AND TRAFFIC BY OTHER TRADES. 3.03 MATERIAL STORAGE AND HANDLING A. KEEP ALL ADHESIVES, SEALANTS, PRIMERS AND CLEANING MATERIALS AWAY FROM ALL SOURCES OF IGNITION. B. CONSULT CONTAINER LABELS AND MATERIAL SAFETY DATA SHEETS (MSDS) FOR SPECIFIC SAFETY INSTRUCTIONS. 3.04 WOOD NAILER LOCATION AND INSTALLATION 	STAMP:
NG MEMBRANE SPECIFIED IN THIS CE. CT WITH THE MEMBRANE AND ACILITIES. MANUFACTURER. OF THE JOB SITE.	 A. TOTAL WOOD NAILER HEIGHT SHALL MATCH THE TOTAL THICKNESS OF INSULATION BEING USED AND SHALL BE INSTALLED WITH A 1/8" GAP BETWEEN EACH LENGTH AND AT EACH CHANGE OF DIRECTION. B. WOOD NAILERS SHALL BE FIRMLY FASTENED TO THE DECK. MECHANICALLY FASTEN WOOD NAILERS TO RESIST A FORCE OF 200 LBS. PER LINEAL FOOT. 3.05 MEMBRANE PLACEMENT AND ATTACHMENT 	07-29-2024
IENTS. SEMBLY CLASSIFICATION, FM	 A. BEGINNING AT THE LOW POINT OF THE ROOF, PLACE THE ELEVATE RUBBER GUARD 90-MIL PLATINUM ROOFING MEMBRANE WITHOUT STRETCHING OVER THE ACCEPTABLE SUBSTRATE AND ALLOW TO RELAX A MINIMUM OF 30 MINUTES BEFORE ATTACHMENT OR SPLICING. B. AFTER MAKING SURE THE SHEET IS PLACED IN ITS FINAL POSITION, FOLD IT BACK EVENLY ONTO ITSELF SO AS TO EXPOSE THE UNDERSIDE. C. WITH A STIFF PROOM TO PENOVE 	
ION OF THE ROOFING SYSTEM STEM MANUFACTURER. Y SALES FUNCTIONS. IRS REQUIRED FOR ISSUANCE	 C. SWEEP THE MATING SURFACE OF THE MEMBRANE WITH A STIFF BROOM TO REMOVE EXCESS DUSTING AGENT (IF ANY) OR OTHER CONTAMINANTS FROM THE MATING SURFACE. D. APPLY BONDING ADHESIVE AT ABOUT THE SAME TIME TO BOTH THE EXPOSED UNDERSIDE OF THE SHEET AND THE SUBSTRATE TO WHICH IT WILL BE ADHERED SO AS TO ALLOW APPROXIMATELY THE SAME DRYING TIME. APPLY BONDING ADHESIVE SO TO PROVIDE AN EVEN AND UNIFORM FILM THICKNESS. DO NOT APPLY BONDING ADHESIVE TO AREAS THAT WILL BE SUBSEQUENTLY SPLICED. 	
TO DISCUSS THE PROPER PARTIES DIRECTLY AFFECTING	E. ALLOW BONDING ADHESIVE TO FLASH OFF UNTIL TACKY. TOUCH THE ADHESIVE SURFACE WITH A CLEAN, DRY FINGER TO BE CERTAIN THAT THE ADHESIVE DOES NOT STICK OR STRING. AS YOU ARE TOUCHING THE ADHESIVE, PUSHING STRAIGHT DOWN TO CHECK FOR STRINGING, ALSO PUSH FORWARD ON THE ADHESIVE AT AN ANGLE TO ENSURE THAT THE ADHESIVE IS READY THROUGHOUT ITS THICKNESS. IF EITHER MOTION EXPOSES WET OR STRINGY ADHESIVE WHEN THE FINGER IS LIFTED, THEN IT IS NOT READY FOR MATING.	
NERS DRY, UNDAMAGED, SEALS /ITH WEATHER PROTECTIVE DN SOURCES.	 F. STARTING AT THE FOLD, ROLL THE PREVIOUSLY COATED PORTION OF THE SHEET INTO THE COATED SUBSTRATE SLOWLY AND EVENLY SO AS TO MINIMIZE WRINKLES. G. COMPRESS THE BONDED HALF OF THE SHEET TO THE SUBSTRATE WITH A STIFF PUSH BROOM. H. FOLD THE UN-ADHERED HALF OF THE MEMBRANE SHEET BACK ONTO ITSELF, AND REPEAT THE BONDING PROCEDURE TO COMPLETE THE BONDING OF THE SHEET. 3.06 FLASHING - PENETRATIONS A. GENERAL: 	ISING V ROOF 03
ELEAN, DRY, SMOOTH AND FREE	 A. GENERAL: IF PROJECT IS A TEAR-OFF OR RE-ROOF, REMOVE ALL EXISTING FLASHINGS (I.E. LEAD, ASPHALT, MASTIC, ETC.). FLASH ALL PENETRATIONS PASSING THROUGH THE MEMBRANE. THE FLASHING SEAL MUST BE MADE DIRECTLY TO THE PENETRATION. B. PIPES, ROUND SUPPORTS, ETC. FLASH WITH PRE-MOLDED EPDM PIPE FLASHINGS WHERE PRACTICAL. FLASH USING FORMFLASH WHEN PRE-MOLDED EPDM PIPE FLASHING IS NOT PRACTICAL. STRUCTURAL STEEL TUBING: USE A FIELD FABRICATED PIPE FLASHING DETAIL PROVIDED 	D HOU - LOW EMENT GTON ST RI, 029(
NTY (OR APPROVED EQUAL). OF INSULATION, AND ALL OTHER BY THE ORDINARY WEAR AND ERIALS, AND THE WORKMANSHIP	 THAT THE MINIMUM CORNER RADIUS IS GREATER THAN 1/4" AND THE LONGEST SIDE OF THE TUBE DOES NOT EXCEED 12". WHEN THE TUBE EXCEEDS 12" USE A STANDARD CURB DETAIL. D. PIPE CLUSTERS AND UNUSUAL SHAPED PENETRATIONS: FABRICATE PENETRATION POCKETS TO ALLOW A MINIMUM CLEARANCE OF 1" BETWEEN THE PENETRATION AND ALL SIDES. SECURE PENETRATION POCKETS PER MANUFACTURER'S DETAILS. FILL PENETRATION POCKETS WITH POURABLE SEALER, SO AS TO SHED WATER. 	E ISLAND JILDING EPLACE WASHING
HERN PINE, DOUGLAS FIR, OR TREATED FOR ROT RESISTANCE. S WIDE AS THE NAILING FLANGE	 POURABLE SEALER SHALL BE A MINIMUM OF 2" DEEP. 3.07 FLASHING - WALLS, PARAPETS, MECHANICAL EQUIPMENT CURBS, ETC. A. GENERAL: USING THE LONGEST PIECES PRACTICAL, FLASH ALL WALLS, PARAPETS, CURBS, ETC., A MINIMUM OF 8" HIGH PER MANUFACTURER'S DETAILS. NOTE: SAW CUT REGLET MAY BE REQUIRED AT BRICK WALL BASE FLASHINGS TO B. EVALUATE SUBSTRATE: EVALUATE SUBSTRATE: EVALUATE THE SUBSTRATE AND OVERLAY PER FIRESTONE SPECIFICATIONS AS NECESSARY. C. FOR TEAR-OFF OR RE-ROOF PROJECTS: REMOVE LOOSE OR UNSECURED FLASHINGS. REMOVE MINERAL SURFACED OR COATED FLASHINGS. REMOVE EXCESSIVE ASPHALT TO PROVIDE A SMOOTH, SOUND SURFACE FOR NEW FLASHINGS. 	BLODECT STATUS:
1 ROOFING SYSTEM	 D. COMPLETE THE SPLICE BETWEEN FLASHING AND THE MAIN ROOF SHEET WITH SPLICE ADHESIVE BEFORE ADHERING FLASHING TO THE VERTICAL SURFACE. PROVIDE LAP SPLICES IN ACCORDANCE WITH MANUFACTURE'S DETAILS. E. APPLY BONDING ADHESIVE AT ABOUT THE SAME TIME TO BOTH THE FLASHING AND THE SURFACE TO WHICH IT IS BEING BONDED SO AS TO ALLOW APPROXIMATELY THE SAME FLASH OFF TIME. F. ALLOW BONDING ADHESIVE TO FLASH OFF UNTIL TACKY. TOUCH THE ADHESIVE SURFACE 	ISSUED FOR CONSTRUCTION
Composed of Ethylene Lowing Physical properties: Cification:	 WITH A CLEAN, DRY FINGER TO BE CERTAIN THAT THE ADHESIVE DOES NOT STICK OR STRING. WHILE TOUCHING THE ADHESIVE, PUSHING STRAIGHT DOWN TO CHECK FOR STRINGING, ALSO PUSH FORWARD ON THE ADHESIVE AT AN ANGLE TO ENSURE THAT THE ADHESIVE IS READY THROUGHOUT ITS THICKNESS. IF EITHER MOTION EXPOSES WET OR STRINGY ADHESIVE WHEN THE FINGER IS LIFTED, THEN IT IS NOT READY FOR MATING. FLASH OFF TIME WILL VARY DEPENDING ON AMBIENT AIR CONDITIONS. G. ROLL THE FLASHING INTO THE ADHESIVE EVENLY AND CAREFULLY SO AS TO MINIMIZE WRINKLES. H. ENSURE PROPER CONTACT OF FLASHING BY BROOMING IN PLACE. 3.08 TEMPORARY CLOSURE A. TEMPORARY CLOSURES WHICH ENSURE THAT MOISTURE DOES NOT DAMAGE ANY COMPLETED SECTION OF THE NEW ROOFING SYSTEM ARE THE RESPONSIBILITY OF THE ROOFING CONTRACTOR. COMPLETION OF FLASHINGS, TERMINATIONS, AND TEMPORARY CLOSURES SHALL BE COMPLETED AS REQUIRED TO PROVIDE A WATERTIGHT CONDITION. 	DATE: 07/29/24 PROJECT NO: 23057B DRAWN BY: AG CHECKED BY: Checker REVISIONS:
ED IN SINGLE-PLY ROOF YSIS. TENSION. F LIQUIDS.		DRAWING TITLE: GENERAL REQUIREMENTS & ROOF NOTES
AIR OVEN. RESISTANCE		drawing no.: A0.2

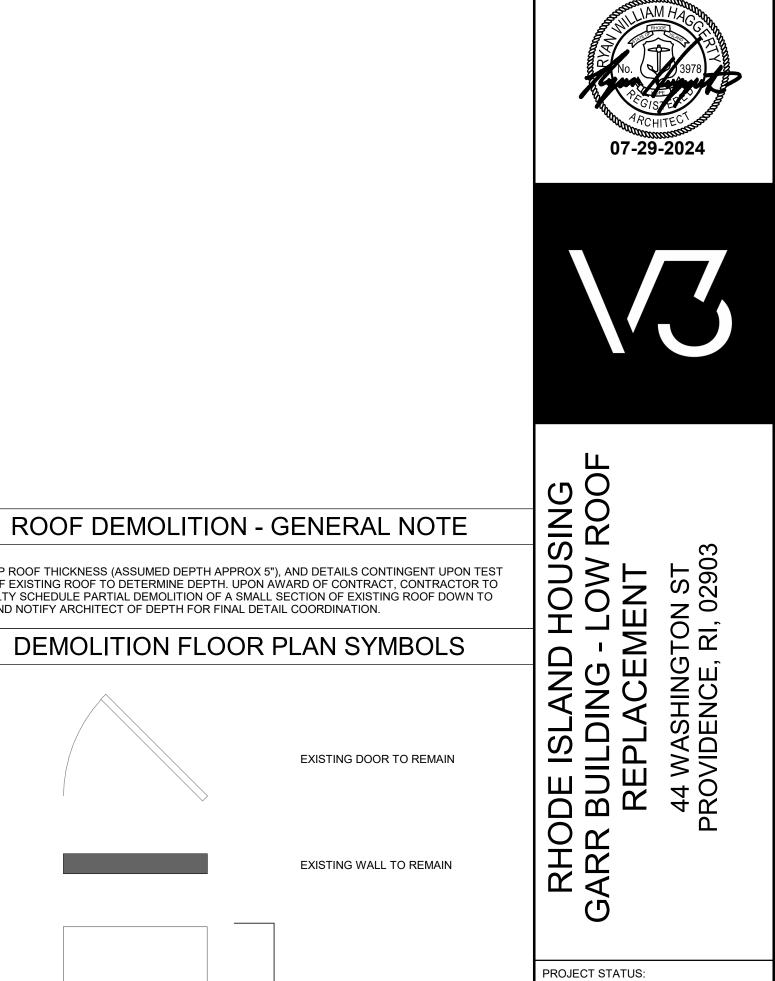
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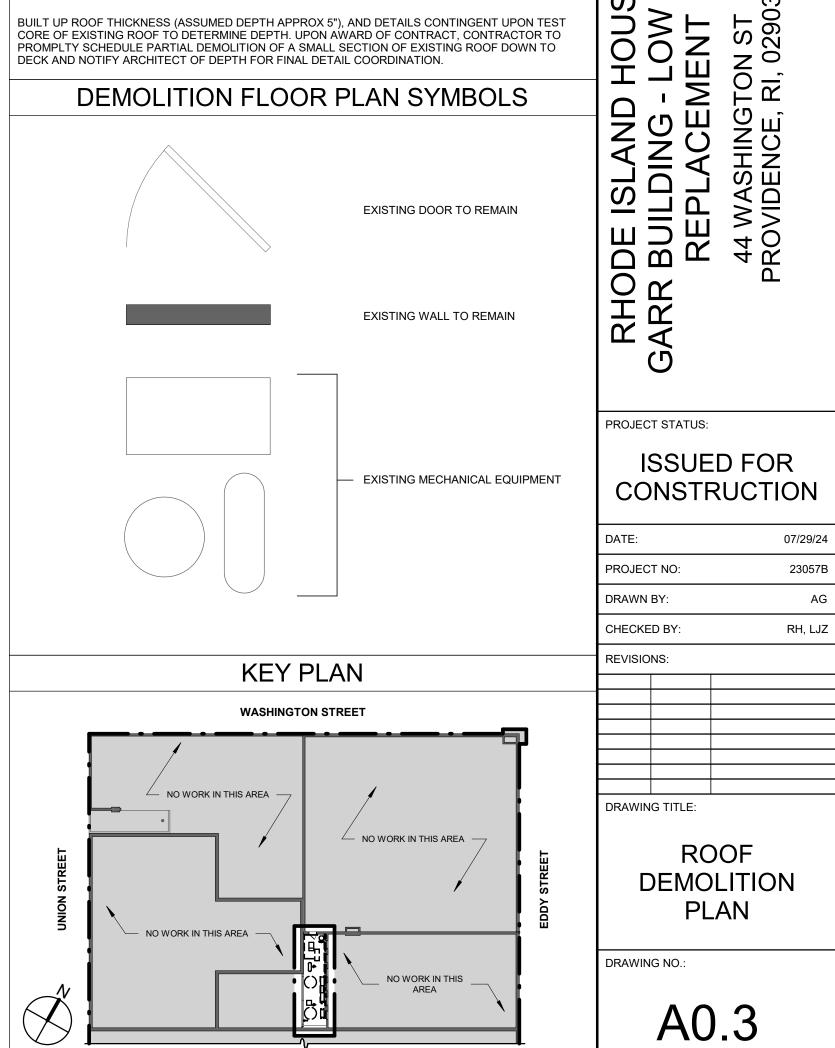


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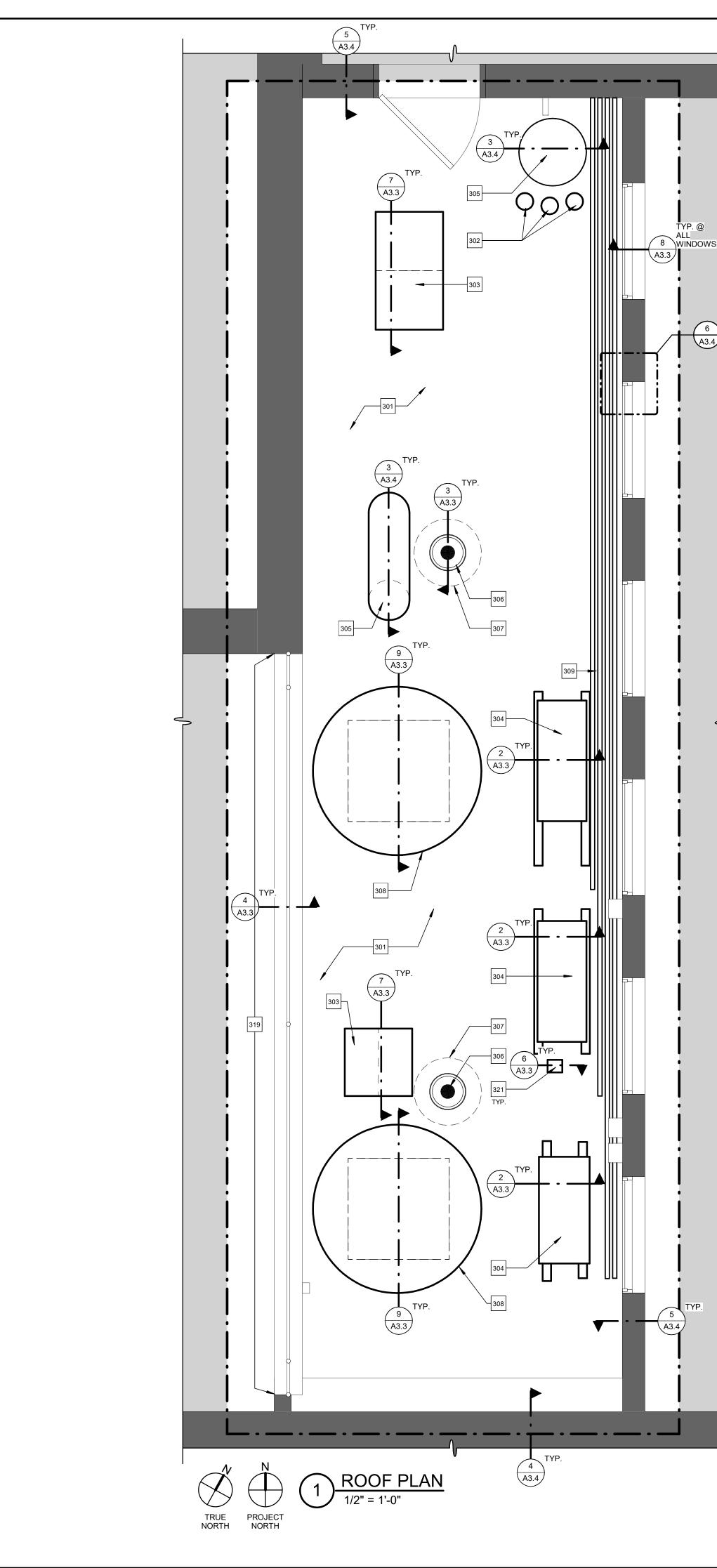
	KEYNOTES - DEMOLITION PLAN	
001	REMOVE AND DISPOSE OF EXISTING ROOF DOWN TO WOOD DECK, PREPARE EXISTING WOOD DECK TO RECEIVE NEW INSULATION, COVERBOARD AND EPDM ROOF	VISION 3
002	EXISTING BOILER / FURNACE VENT TO BE TEMPORARILY UNINSTALLED TO ALLOW FOR REMOVAL OF EXISTING BUILT-UP ROOF CURB AND FLASHING.	ARCHITECTS
003	EXISTING VENTS TO BE TEMPORARILY UNINSTALLED TO ALLOW FOR REMOVAL OF EXISTING BUILT-UP ROOF ASSEMBLY AND ASSOCIATED FLASHING.	225 CHAPMAN STREET PROVIDENCE, RI 02905
004	EXISTING GOOSE NECK EXHAUST DUCT TO BE TEMPORARILY UNINSTALLED TO ALLOW FOR REMOVAL OF EXISTING BUILT-UP ROOF CURB AND FLASHING.	401.461.7771
005	EXISTING ROOFTOP EQUIPMENT TO BE TEMPORARILY UNINSTALLED TO ALLOW FOR REMOVAL OF EXISTING BUILT-UP ROOF FLASHING, AND INSTALLATION OF NEW ROOF /	v3@vision3architects.com www.vision3architects.com
	FLASHING. UPON REINSTALLATION REPLACE EXISTING SLEEPERS WITH NEW PT. 4X4'S LENGTHS TO MATCH EXISTING	BUILDING ENVELOPE CONSULTANT: BUILDING ENCLOSURE SCIENCE. LLC
006	EXISTING VENT PIPE TO BE TEMPORARILY UNINSTALLED TO ALLOW FOR REMOVAL OF EXISTING BUILT-UP ROOF AND FLASHING.	BOILDING ENCLOSORE SCIENCE, ELC
007	EXISTING ROOF DRAIN TO BE TEMPORARILY UNINSTALLED TO ALLOW FOR REMOVAL OF EXISTING BUILT-UP ROOF AND FLASHING. INSPECT AND REPLACE WOOD NAILER AS REQUIRED	
008	EXISTING BOILER / FURNACE VENT TO BE TEMPORARILY UNINSTALLED TO ALLOW FOR REMOVAL OF EXISTING BUILT-UP ROOF CURB AND FLASHING.	
009	REMOVE AND DISPOSE OF ABANDONDED POWER SHUT OFF, PATCH / REPAIR WOOD DECK AS NEEDED	
010	EXISTING EXHAUST FAN TO BE TEMPORARILY UNINSTALLED TO ALLOW FOR REMOVAL OF EXISTING BUILT-UP ROOF CURB AND FLASHING	
011	EXISTING REFRIGERANT LINES, CONDUIT AND MOUNTING PEDESTALS TO BE TEMPORARILY SUPPORTED TO ALLOW FOR REMOVAL OF EXISTING BUILT-UP ROOF AND INSTALLATION OF NEW ROOF	
012	REMOVE AND DISPOSE OF EXISTING TERMINATION BAR, FLASHING AND SEALANT	
013	REMOVE AND DISPOSE OF EXISTING ROOFTOP EQUIPMENT BUILT-UP ROOF FLASHING, SLEEPERS, ASSOCIATED HARDWARE AND POWER / REFRIGERANT LINES	
014	UPON DEMOLITION OF EXISTING ROOF INSPECT ABANDONED DRAIN, CONTRACTOR TO NOTIFY ARCHITECT IF SIGNS OF WATER BACKUP ARE PRESENT	



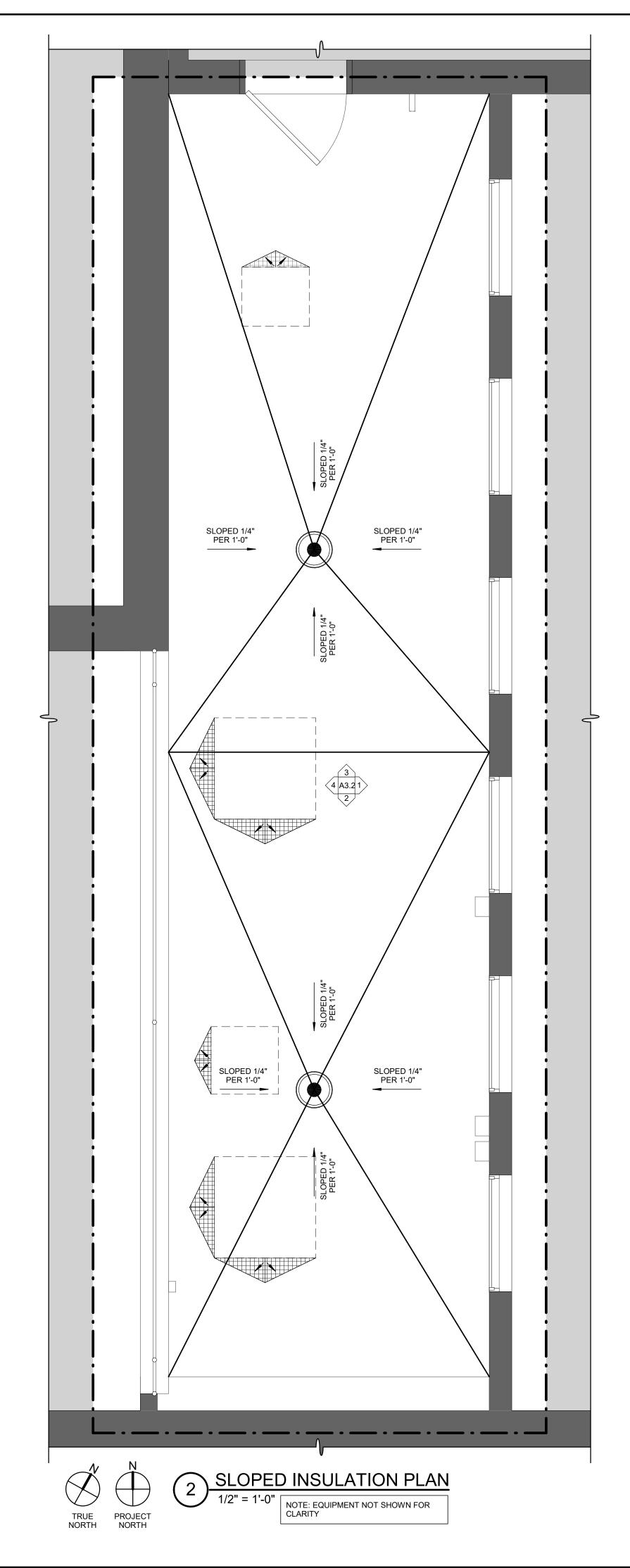
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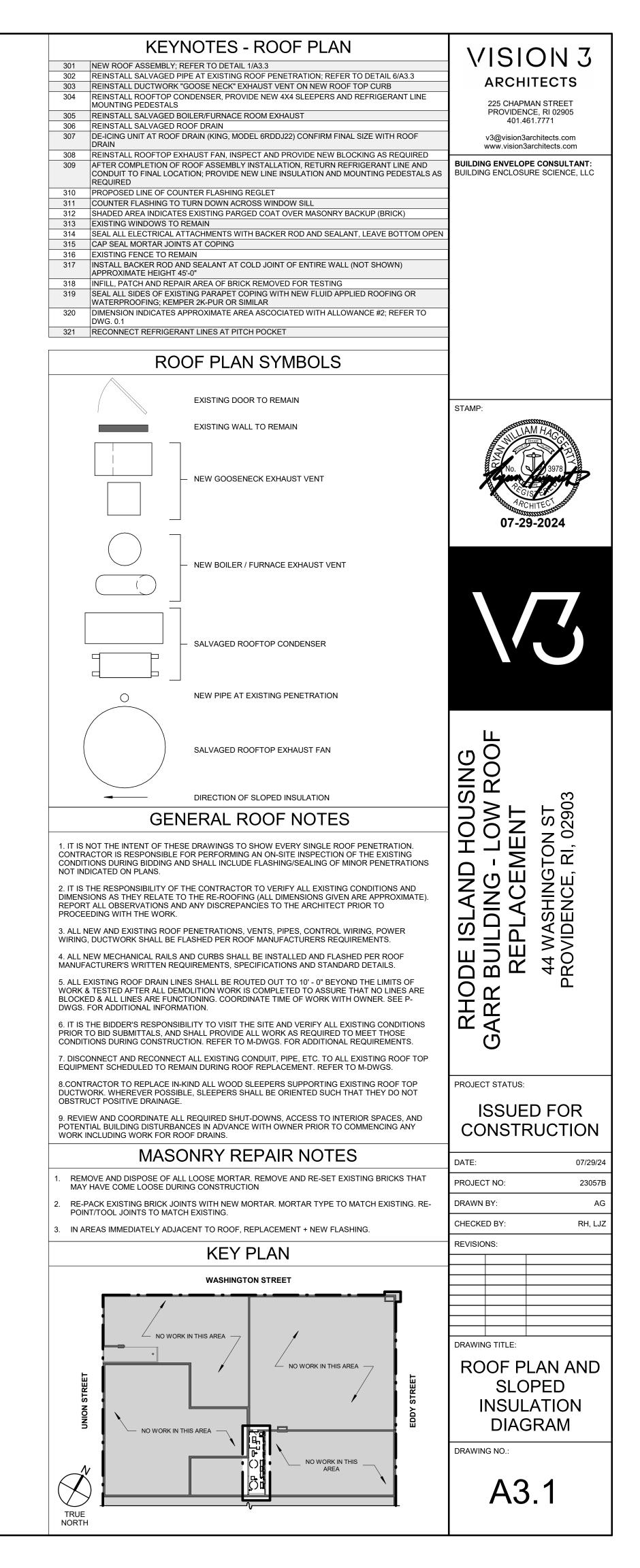


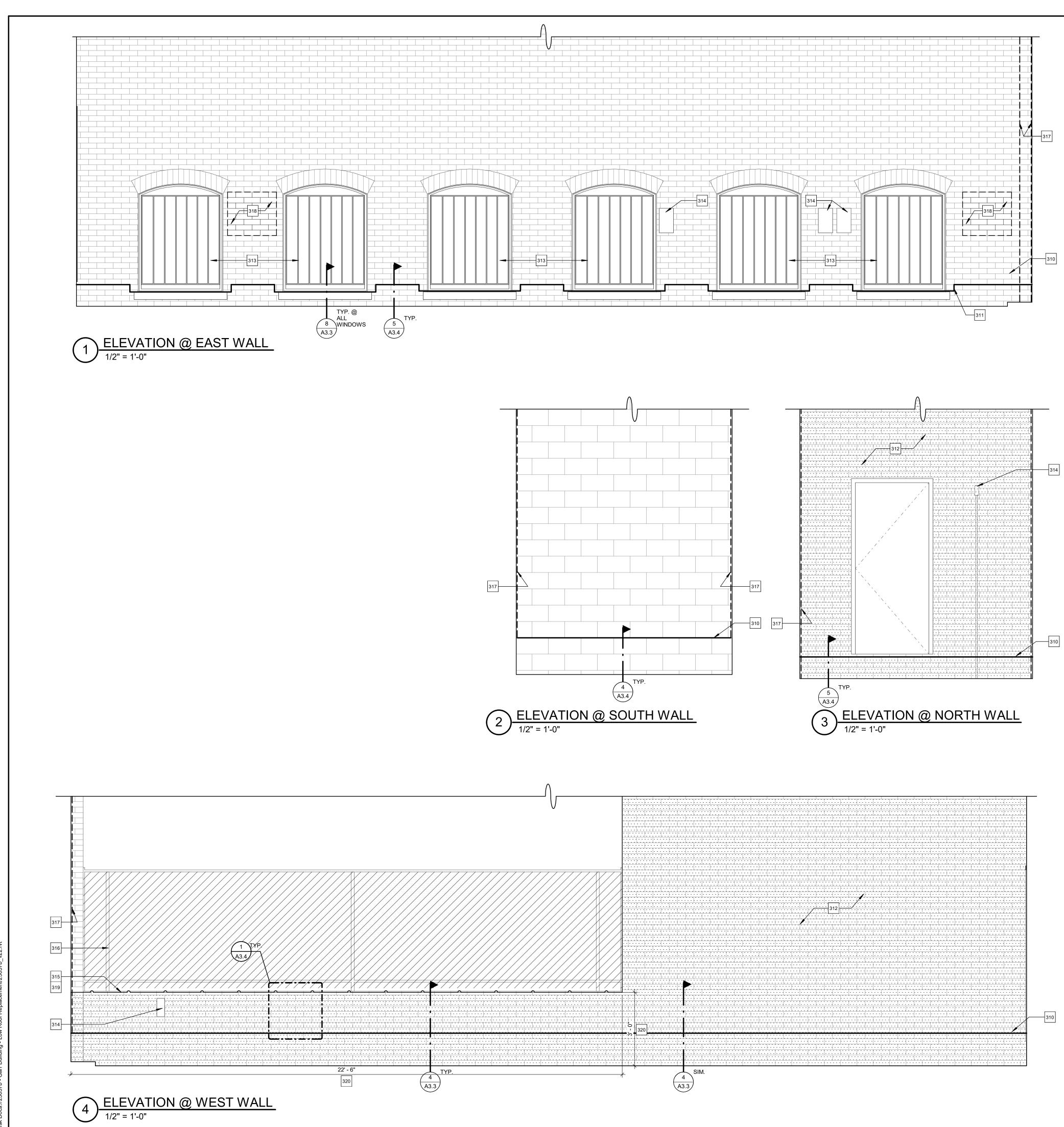
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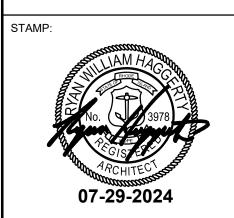






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	KEYNOTES - ROOF PLAN	VISION 3
301	NEW ROOF ASSEMBLY; REFER TO DETAIL 1/A3.3	
302	REINSTALL SALVAGED PIPE AT EXISTING ROOF PENETRATION; REFER TO DETAIL 6/A3.3	ARCHITECTS
303	REINSTALL DUCTWORK "GOOSE NECK" EXHAUST VENT ON NEW ROOF TOP CURB	ARCHITECTS
304	REINSTALL ROOFTOP CONDENSER, PROVIDE NEW 4X4 SLEEPERS AND REFRIGERANT LINE MOUNTING PEDESTALS	225 CHAPMAN STREET
305	REINSTALL SALVAGED BOILER/FURNACE ROOM EXHAUST	PROVIDENCE, RI 02905 401.461.7771
306	REINSTALL SALVAGED ROOF DRAIN	401.401.7771
307	DE-ICING UNIT AT ROOF DRAIN (KING, MODEL 6RDDJ22) CONFIRM FINAL SIZE WITH ROOF DRAIN	v3@vision3architects.com www.vision3architects.com
308	REINSTALL ROOFTOP EXHAUST FAN, INSPECT AND PROVIDE NEW BLOCKING AS REQUIRED	
309	AFTER COMPLETION OF ROOF ASSEMBLY INSTALLATION, RETURN REFRIGERANT LINE AND CONDUIT TO FINAL LOCATION; PROVIDE NEW LINE INSULATION AND MOUNTING PEDESTALS AS REQUIRED	BUILDING ENVELOPE CONSULTANT: BUILDING ENCLOSURE SCIENCE, LLC
310	PROPOSED LINE OF COUNTER FLASHING REGLET	
311	COUNTER FLASHING TO TURN DOWN ACROSS WINDOW SILL	
312	SHADED AREA INDICATES EXISTING PARGED COAT OVER MASONRY BACKUP (BRICK)	
313	EXISTING WINDOWS TO REMAIN	
314	SEAL ALL ELECTRICAL ATTACHMENTS WITH BACKER ROD AND SEALANT, LEAVE BOTTOM OPEN	
315	CAP SEAL MORTAR JOINTS AT COPING	
316	EXISTING FENCE TO REMAIN	
317	INSTALL BACKER ROD AND SEALANT AT COLD JOINT OF ENTIRE WALL (NOT SHOWN) APPROXIMATE HEIGHT 45'-0"	
318	INFILL, PATCH AND REPAIR AREA OF BRICK REMOVED FOR TESTING	
319	SEAL ALL SIDES OF EXISTING PARAPET COPING WITH NEW FLUID APPLIED ROOFING OR WATERPROOFING; KEMPER 2K-PUR OR SIMILAR	
320	DIMENSION INDICATES APPROXIMATE AREA ASCOCIATED WITH ALLOWANCE #2; REFER TO DWG. 0.1	
321	RECONNECT REFRIGERANT LINES AT PITCH POCKET	





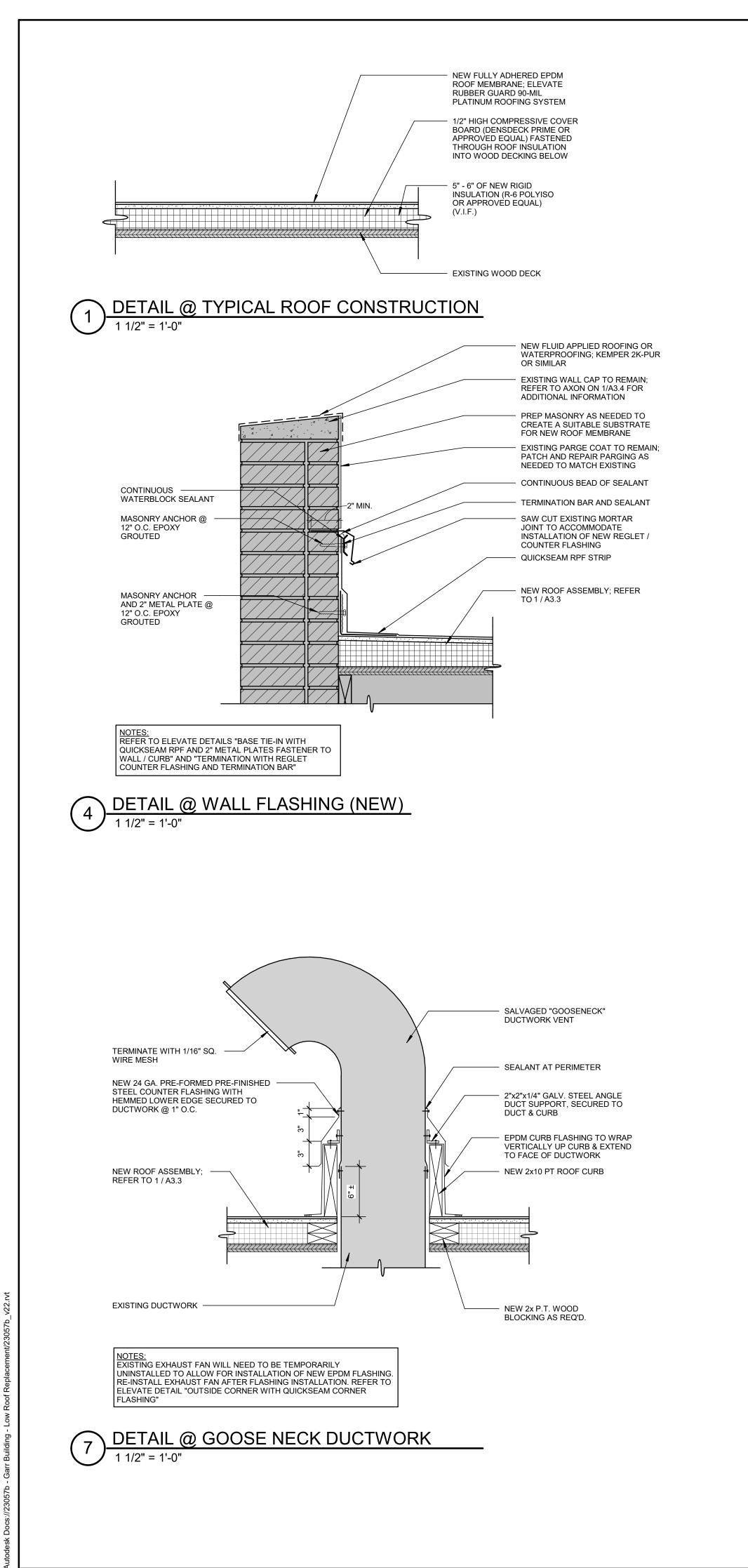


ROOF
ELEVATIONS

A3.2

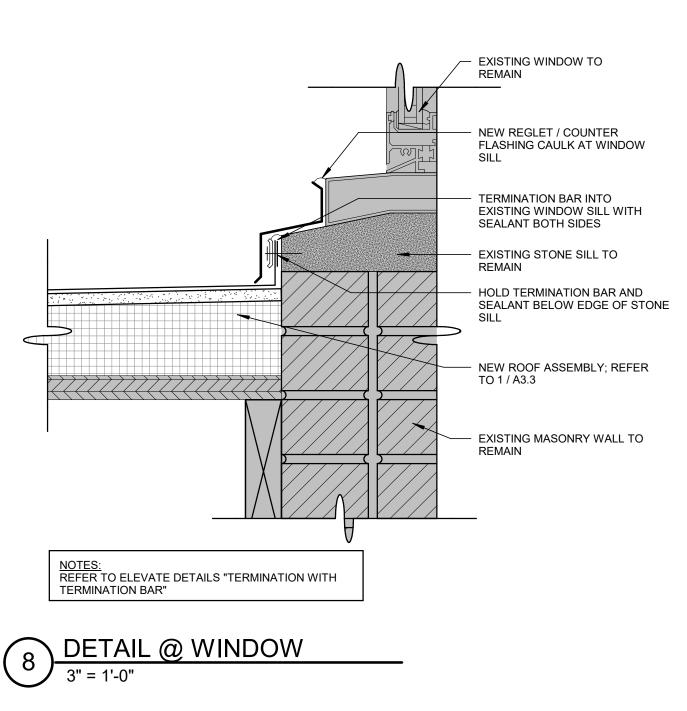
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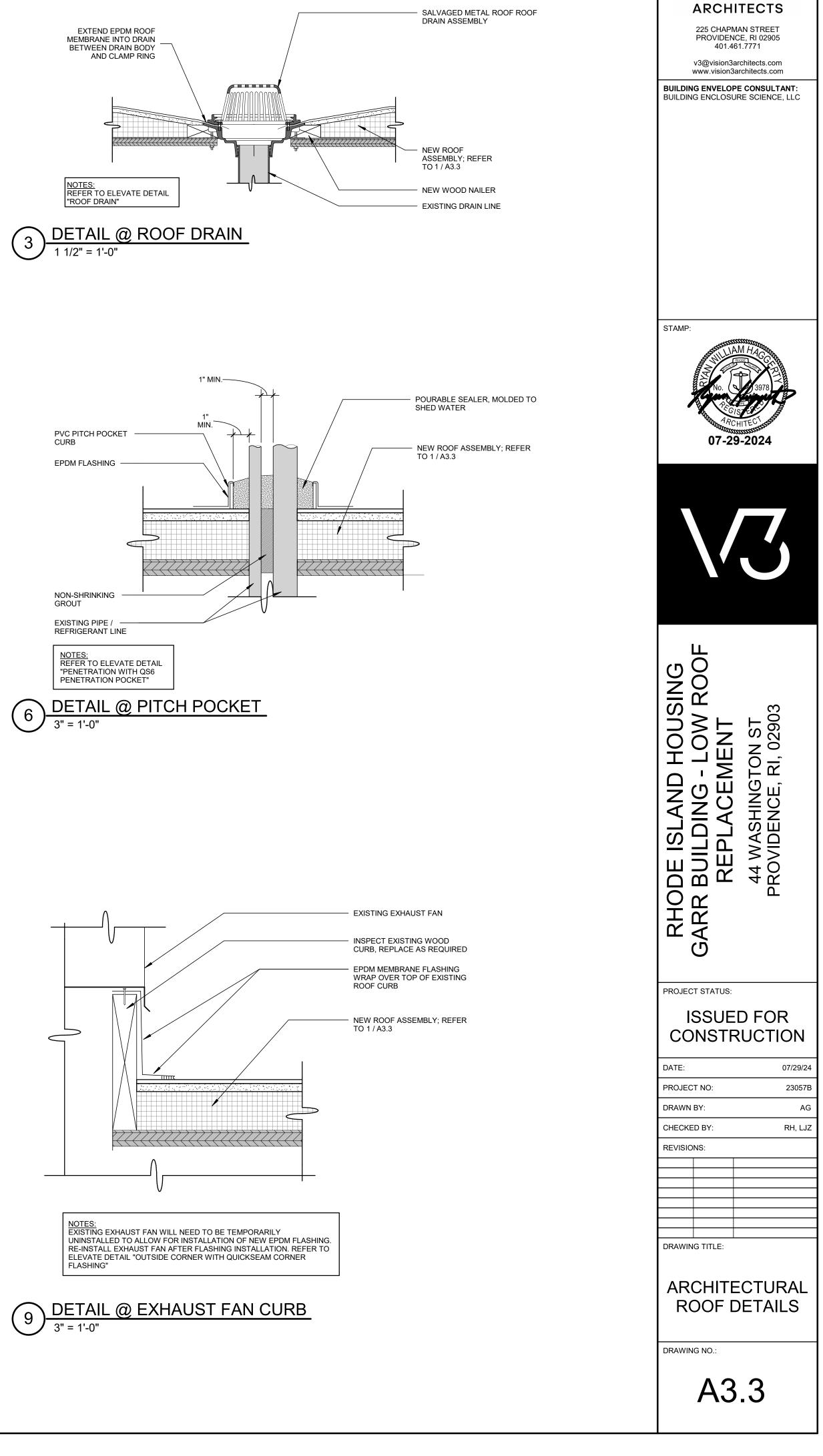


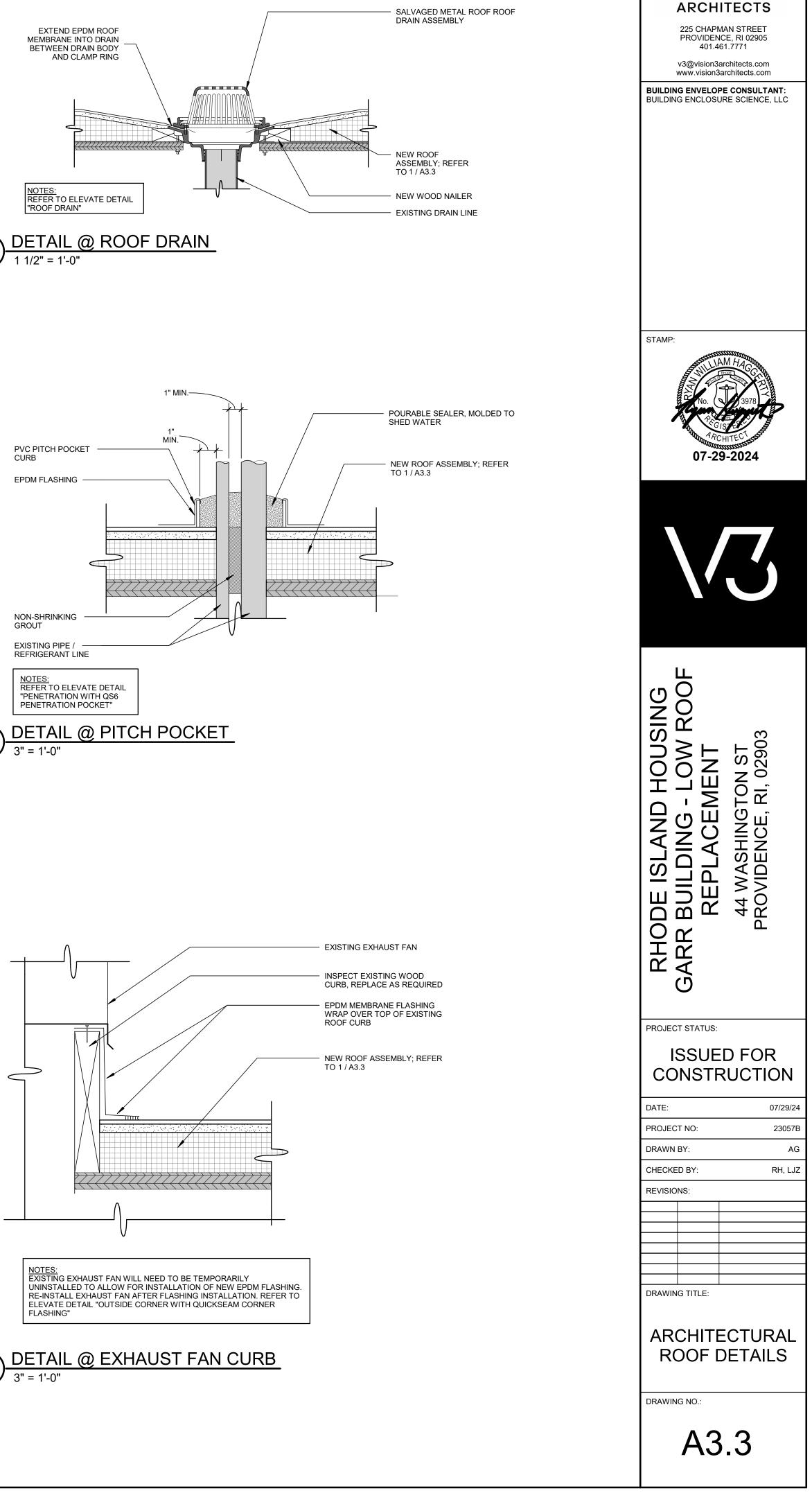


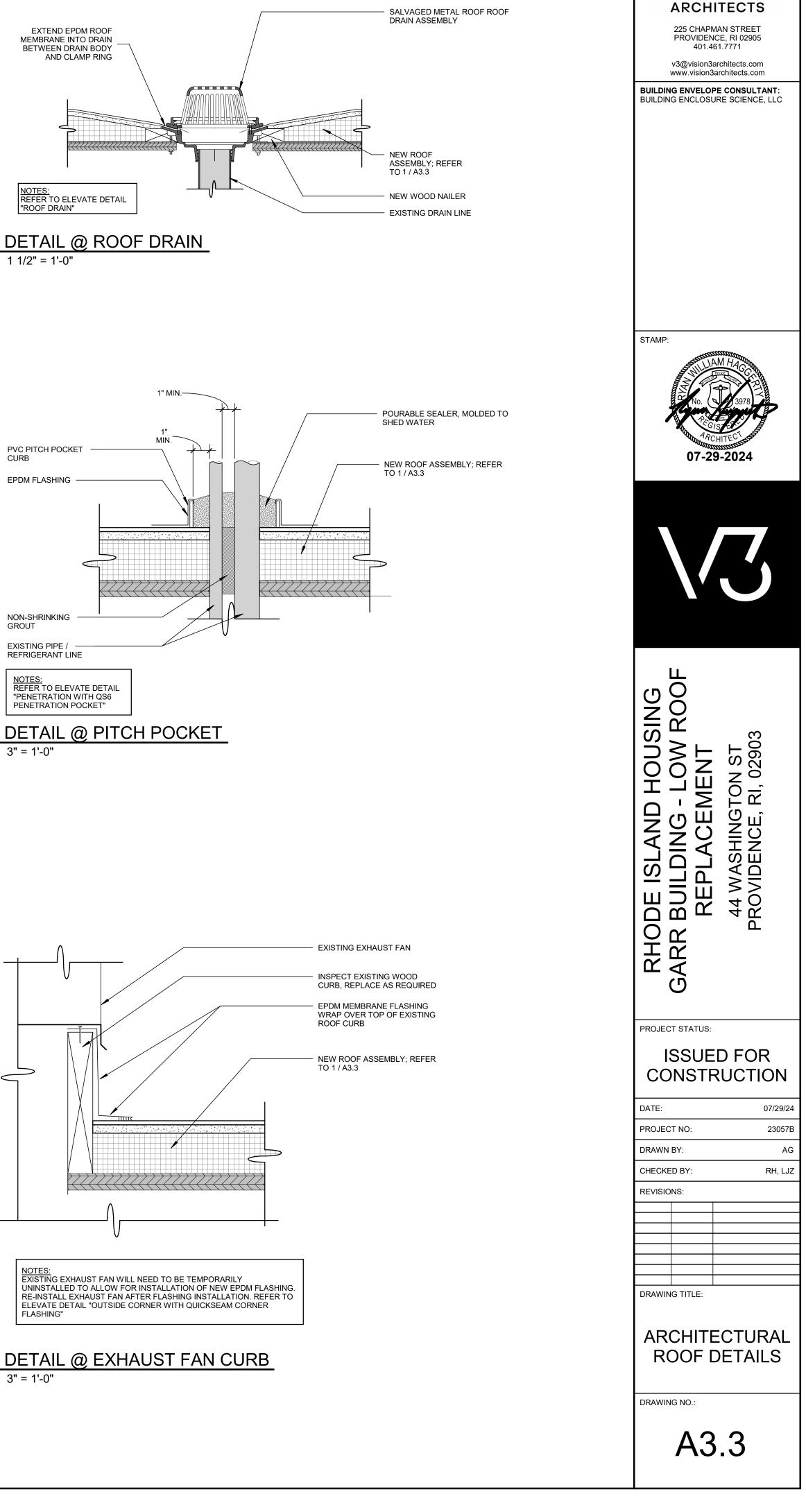
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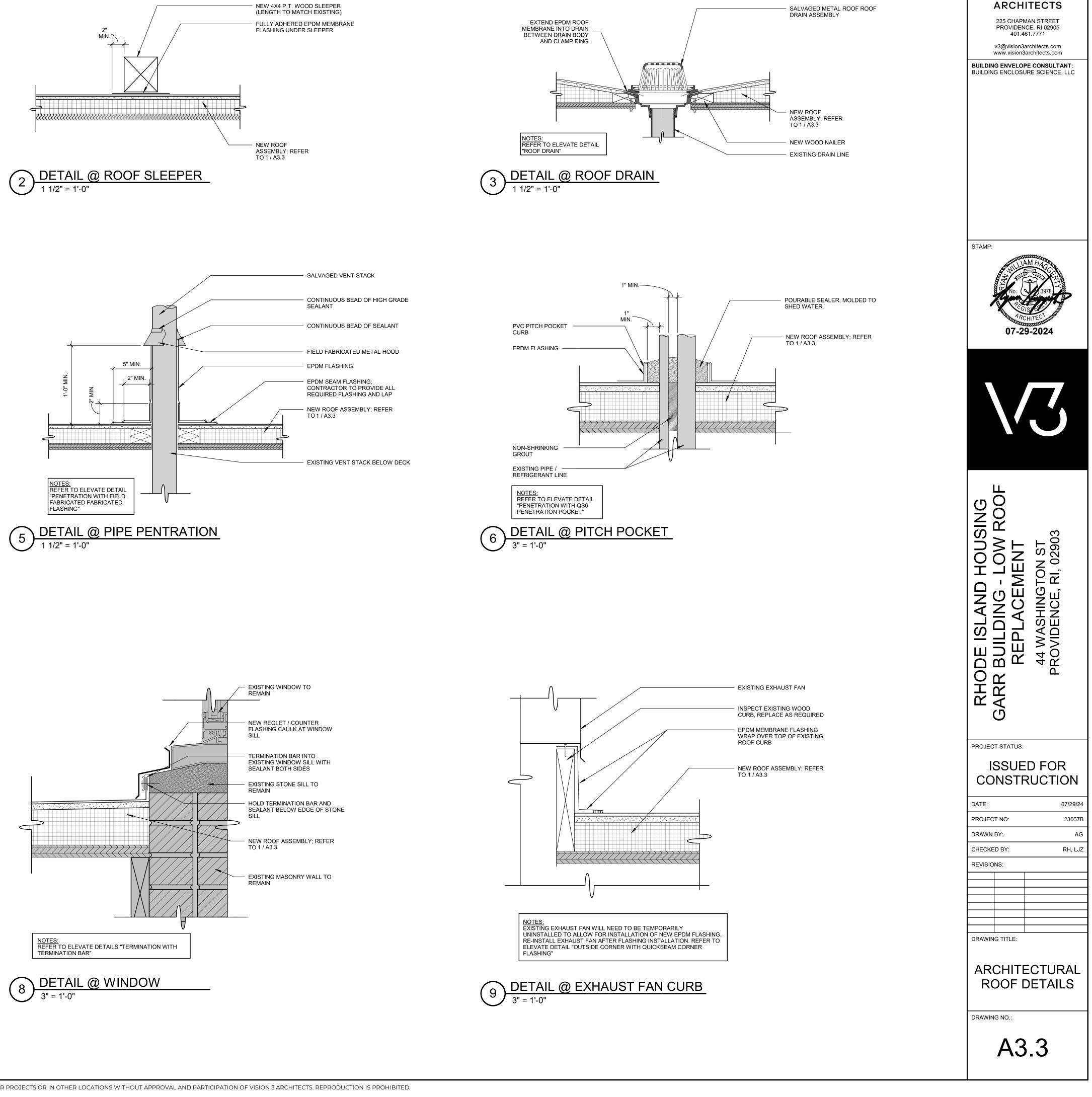


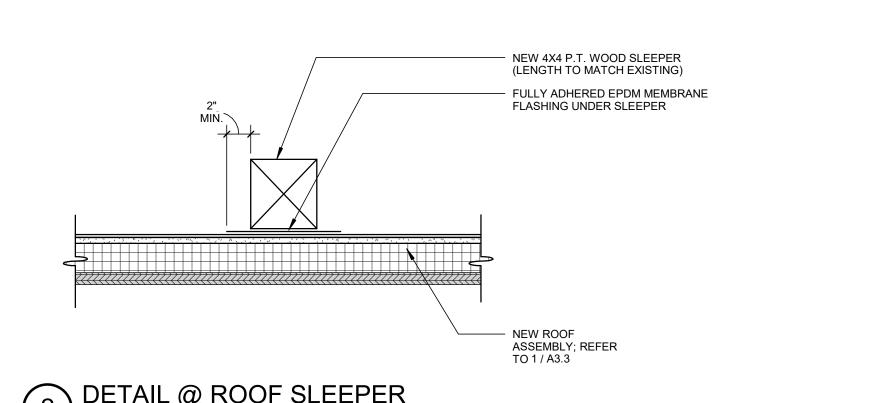


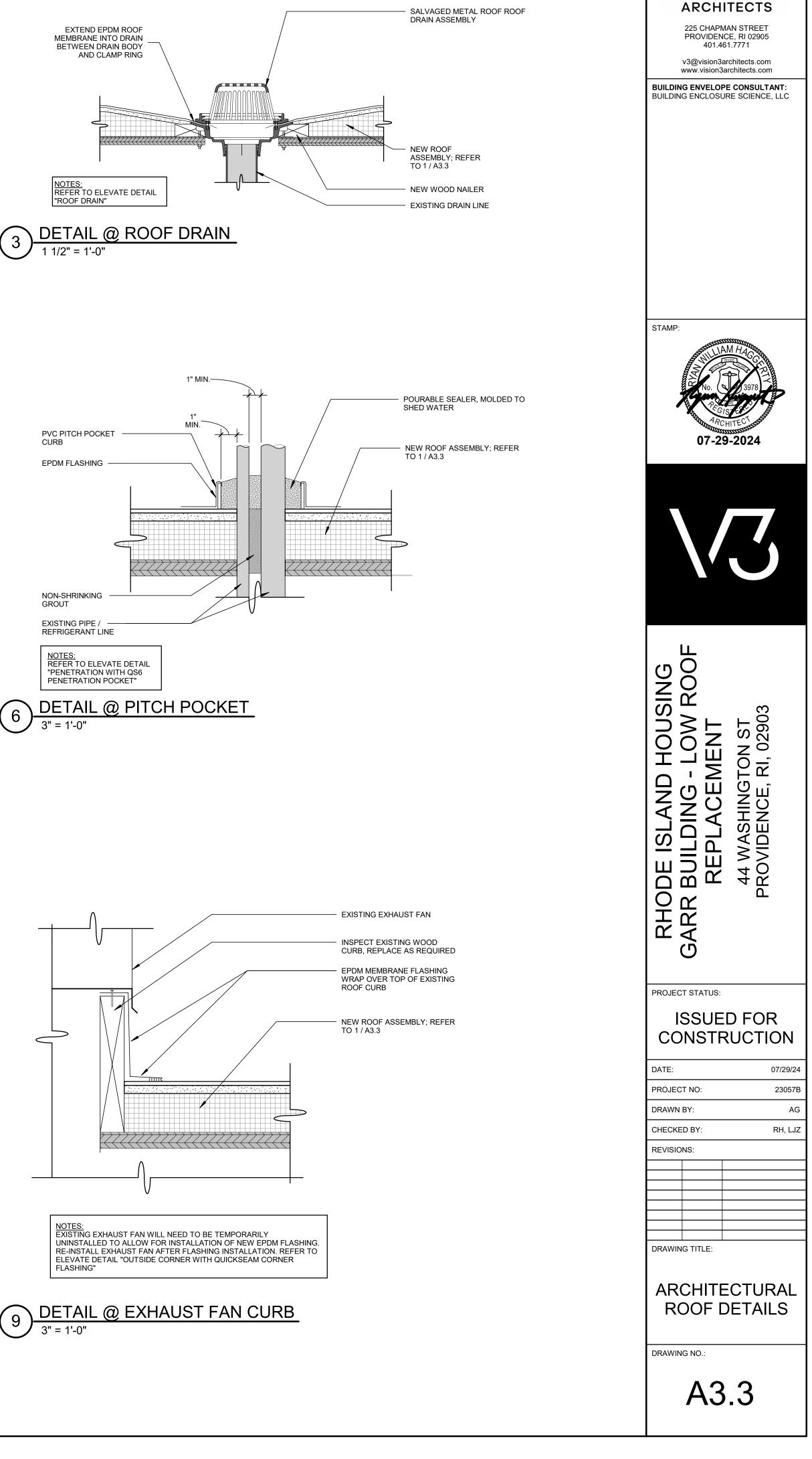


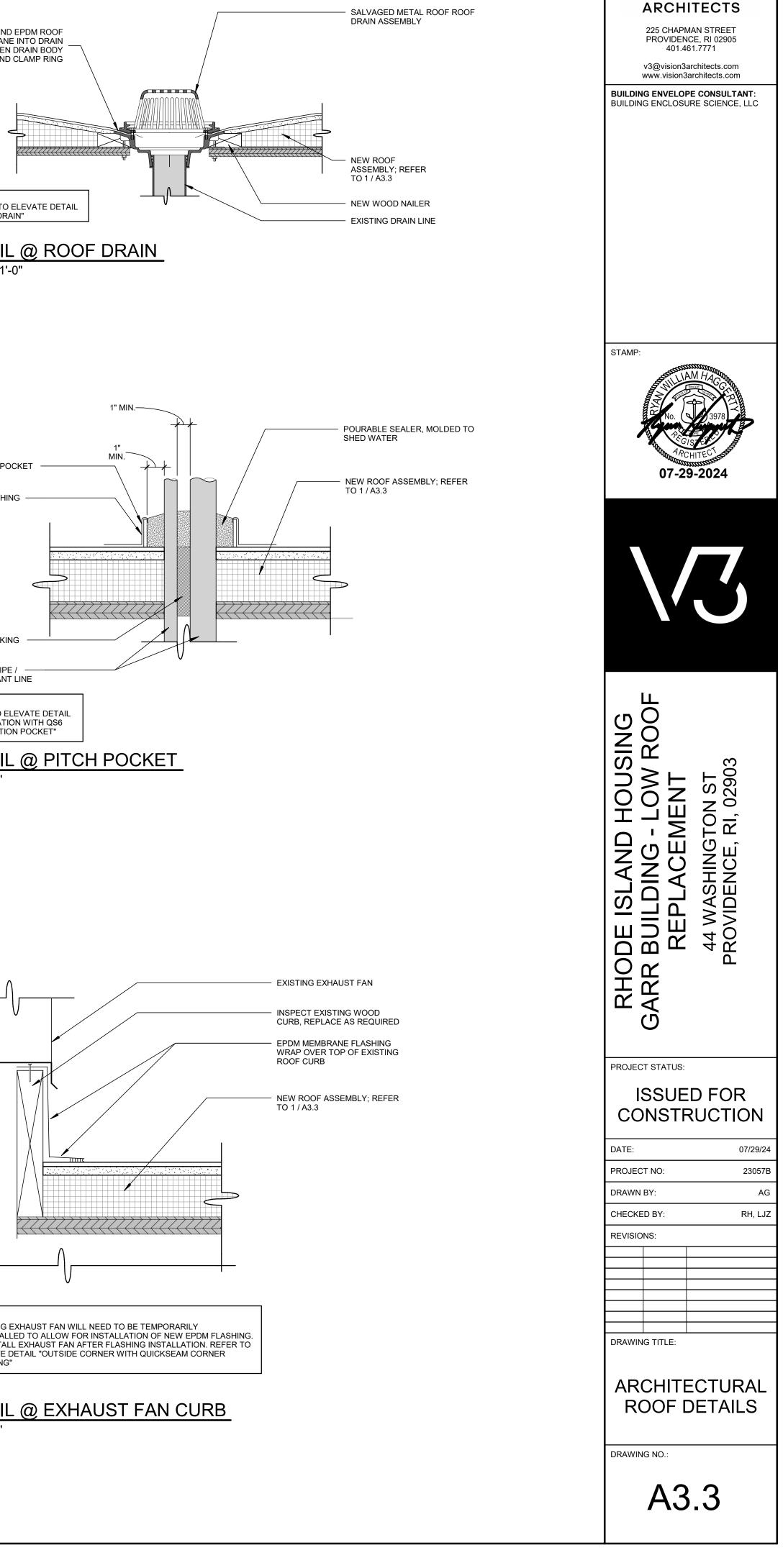




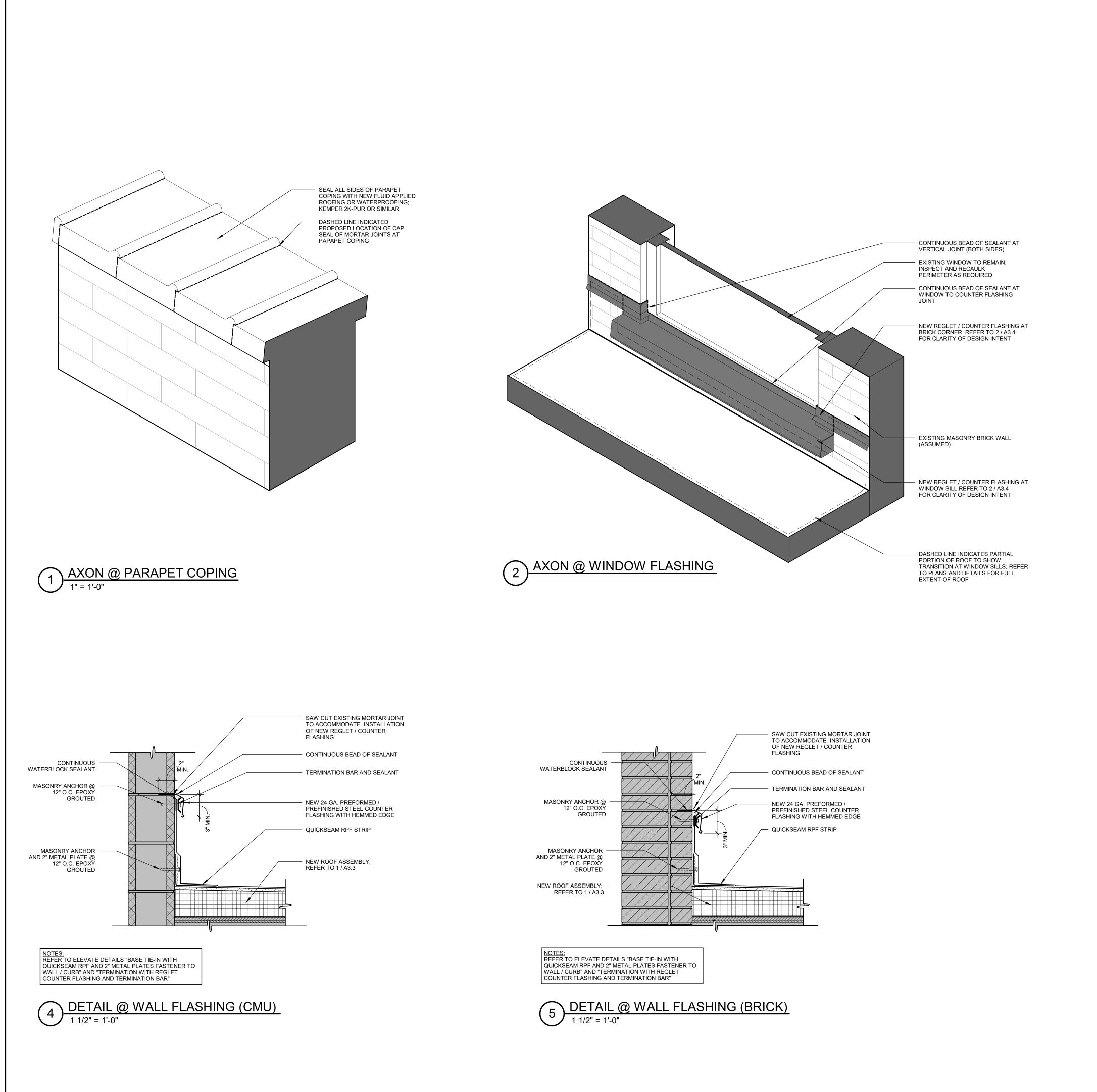








VISION 3



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