



RHODE ISLAND HOUSING
GARR BUILDING - LOW ROOF
REPLACEMENT
44 WASHINGTON ST
PROVIDENCE, RI, 02903

ISSUED FOR CONSTRUCTION
07/29/24

VISION 3
ARCHITECTS

INDEX OF DRAWINGS

SYMBOL LEGEND: ●CURRENT ISSUE ○PREVIOUSLY ISSUED

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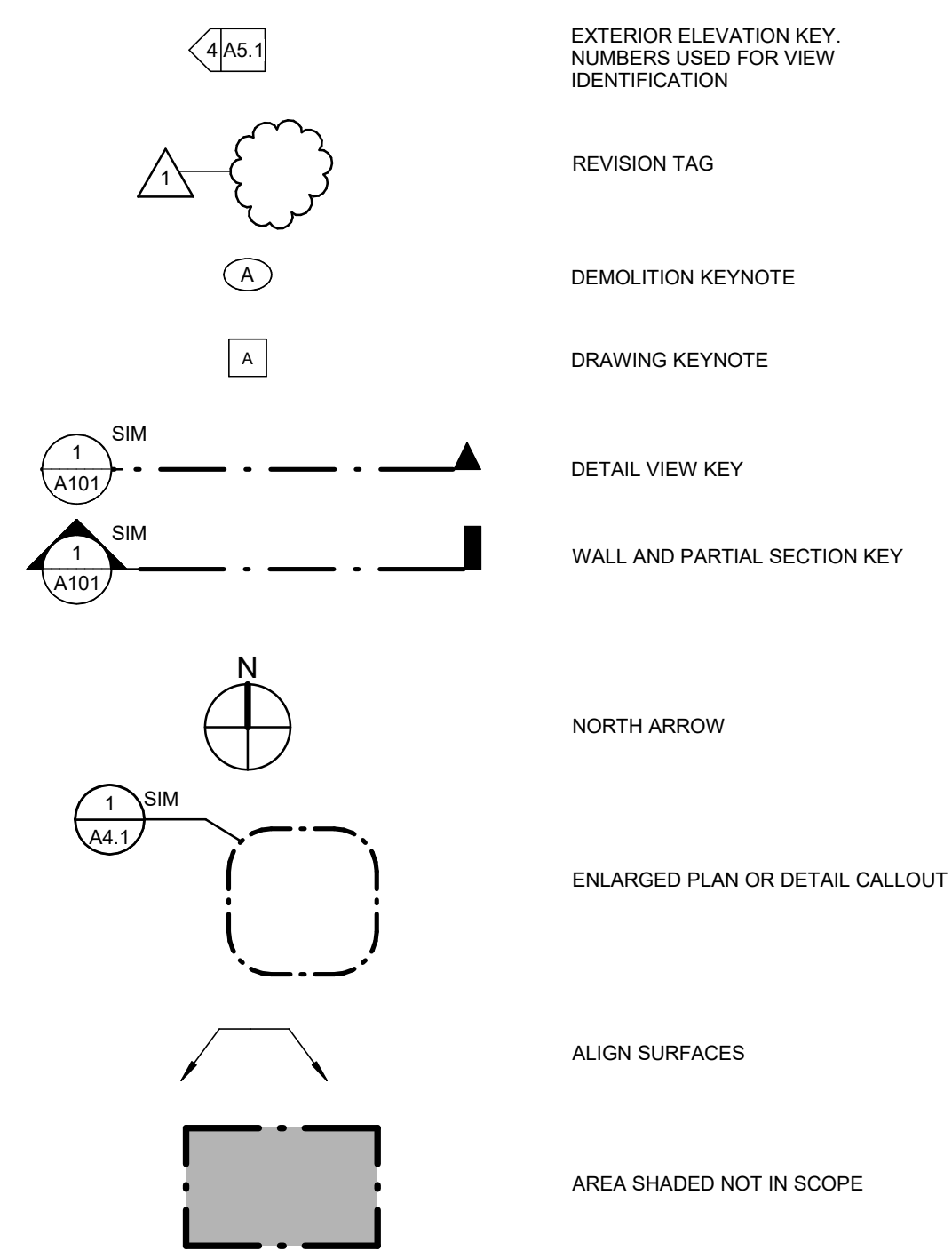
PROJECT TEAM:

OWNER:	RI HOUSING 44 WASHINGTON ST PROVIDENCE, RI 02903 TEL: 401.457.1234
ARCHITECT:	VISION 3 ARCHITECTS 225 CHAPMAN STREET PROVIDENCE, RI 02905 TEL: 401.461.7771
BUILDING ENVELOPE CONSULTANT:	BUILDING ENCLOSURE SCIENCE 859 NORTH MAIN STREET PROVIDENCE, RI 02904 TEL: 401.239.1600
MECHANICAL, ELECTRICAL & PLUMBING:	DESIGN-BUILD DESIGN, SPECIFICATION, AND CONSTRUCTION OF ALL MECHANICAL, PLUMBING, FIRE PROTECTION, AND ELECTRICAL WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR ON A DESIGN-BUILD BASIS.

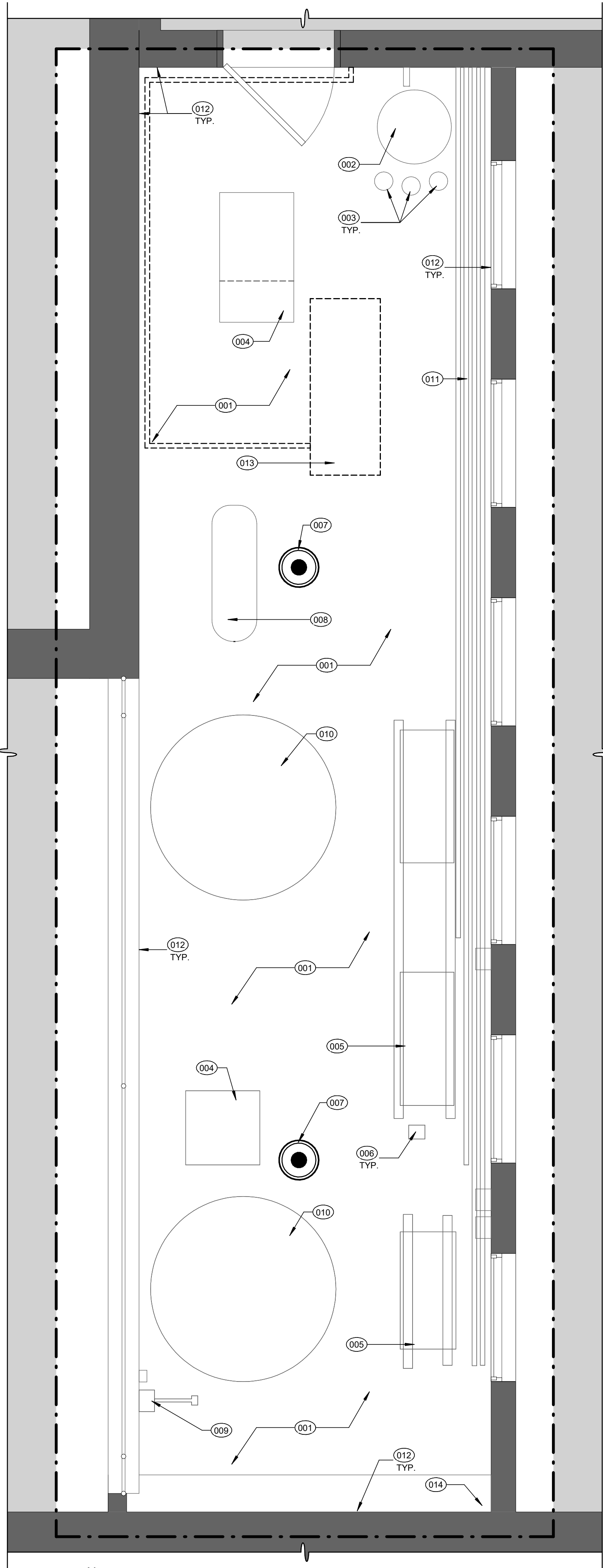


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RHODE ISLAND HOUSING GARR BUILDING - LOW ROOF REPLACEMENT
07/29/24
23057B
ISSUED FOR CONSTRUCTION

CODE SUMMARY		ABBREVIATIONS		GENERAL NOTES					
PROJECT:	RHODE ISLAND HOUSING GARR BUILDING - LOW ROOF REPLACEMENT 44 WASHINGTON STREET PROVIDENCE, RHODE ISLAND 02903	A.F.F. A.C.T. A.V.B. ALUM. ANOD. B.O. C.G. C.J. CLG CLR CMU COL CONC CONT C.T. DWG DR ELEV ENCL EQ E.W.C. EX. / EXIST. F.B.C. F.O.F. F.C. F.D. F.E. FLR F.O.F. F.O.S. F.R.P. F.R.P.T. F.R.T.W. F.R. GA GALV G.C. GL GWB GYP. BD. HDWR	ABOVE FINISH FLOOR ACOUSTICAL CEILING TILE AIR AND VAPOR BARRIER ALUMINUM ANODIZED BOTTOM OF CORNER GUARD CONTROL JOINT CEILING CONCRETE CONCRETE MASONRY UNIT COLUMN CONCRETE CONTINUOUS CERAMIC TILE DRAWING DOOR DOWNSPOUT EACH EXTERIOR INSULATION FINISH SYSTEM ELEVATION ENCLOSURE EQUAL ELECTRIC WATER COOLER EXISTING FURNISHED BY CONTRACTOR FURNISHED BY OWNER FIRE CODE FLOOR DRAIN FIRE EXTINGUISHER FLOOR FACE OF FOUNDATION FACE OF STUD FACE OF WALL FIBERGLASS REINFORCED PANEL FIRE RETARDANT PRESSURE TREATED FIRE RETARDANT TREATED WOOD FIRE RATED GAUGE GALVANIZED GENERAL CONTRACTOR GLASS GYPSUM WALL BOARD GYPSUM BOARD HARDWARE	H.M. H.P. HVAC I.B.C. I.B.O. INSUL J.C. JOINT L.P. MECH MEP-FP MFR MIN M.O. MTL N.I.C. NOM N.T.S. O.C. O.D. OPH OPP P.C. PLYWOOD PLAM P.T. P.T. PTD Q.T. RAD REINFC REQ'D RD SIM SP SQ S.S. STL STD TEMP T.O.S. TYP U.N.O. W.C. W.R.	HOLLOW METAL HIGH POINT HEATING, VENTILATION, AIR CONDITIONING INSTALLED BY CONTRACTOR INSTALLED BY OWNER INSULATION JANITOR CLOSET JOINT LOW POINT MECHANICAL MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION MANUFACTURER MINIMUM MASONRY OPENING METAL NOT IN CONTRACT NOMINAL NOT TO SCALE ON CENTER OUTSIDE DIAMETER OPPOSITE HAND OPPOSITE PRE CAST PLYWOOD PLASTIC LAMINATE PRESSURE TREATED PAINTED QUARRY TILE RADIUS REINFORCING REQUIRED ROUGH OPENING SIMILAR SPACES SQUARE STAINLESS STEEL STEEL STANDARD TEMPERED TOP OF STEEL TYPICAL UNLESS NOTED OTHERWISE WATER CLOSET WATER RESISTANT				
PROJECT DESCRIPTION :	REPLACEMENT IN KIND OF AN EPDM ROOFING SYSTEM AT THE LOW ROOF OF THE GARR BUILDING.THE SCOPE OF WORK ALSO INCLUDES MINOR MASONRY WORK REQUIRED TO CUT-IN THROUGH WALL FLASHING, REFER TO DETAILED SCOPE OF WORK SUMMARY ON DWG. A0.1								
PLAT NUMBER:	020								
LOT NUMBER:	32								
APPLICABLE CODES:	RHODE ISLAND REHABILITATION BUILDING AND FIRE CODE FOR EXISTING BUILDINGS AND STRUCTURES (510-RICR-00-00-20) RHODE ISLAND BUILDING CODE (510-RICR-00-00-1) RHODE ISLAND FIRE SAFETY CODE-2021 (NFPA 1 2018, NFPA 101 2018) ICC A117.1 2009 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES RHODE ISLAND ENERGY CONSERVATION CODE (RISBC-8)								
USE GROUP:	CLASS 'B' - BUSINESS								
SPRINKLER SYSTEM:	YES <u>X</u> NO <u> </u>								
FIRE ALARM SYSTEM:	YES <u>X</u> NO <u> </u>								
GOVERNMENT AGENCIES									
BUILDING DEPARTMENT:	STATE BUILDINGS OFFICE 560 Jefferson Blvd, Suite 100 Warwick, RI 02886 TEL: (401) 921-1590								
FIRE MARSHAL:	OFFICE OF THE STATE FIRE MARSHAL 560 Jefferson Blvd Warwick, RI 02886 TEL: (401) 889-5555								
BUILDING ENVELOPE R-VALUES / U-FACTORS									
ROOF:	<table><tr><th>REQUIRED PER TABLE C402.1.3</th><th>PROVIDED</th></tr><tr><td>ABOVE DECK: R-30CI</td><td>R-30CI</td></tr></table> <p>NOTE: EVERY EFFORT SHALL BE MADE TO ACHIEVE AN R30 MIN ABOVE DECK CI VALUE; HOWEVER, THE THICKNESS OF THE EXISTING ROOF INSULATION IS UNKNOWN AT THIS TIME AND SHALL BE FIELD VERIFIED VIA TEST-CUTS PRIOR TO START OF CONSTRUCTION. DUE TO THE PROXIMITY OF THE BUILDING'S EXISTING WINDOWS TO THE STRUCTURAL ROOF DECK, AND THE NEED TO SLOPE TO DRAINS, R-30 CL MAY NOT BE ACHIEVABLE IN ALL LOCATIONS. PER RI REHABILITATION BUILDING AND FIRE CODE FOR EXISTING STRUCTURES, SECTION 401.3, ROOF REPLACEMENT SHALL NOT RENDER THE BUILDING LESS CONFORMING WITH RIECC THAN BEFORE THE RENOVATION WAS UNDERTAKEN.</p>	REQUIRED PER TABLE C402.1.3	PROVIDED	ABOVE DECK: R-30CI	R-30CI				
REQUIRED PER TABLE C402.1.3	PROVIDED								
ABOVE DECK: R-30CI	R-30CI								
SCOPE OF ROOF WORK									
1. EXISTING BUILT-UP ROOFING TO BE DEMOLISHED AND REMOVED DOWN TO EXISTING WOOD DECK.									
2. ALL EXISTING VERTICAL FLASHING @ MECHANICAL EQUIPMENT CURBS, DUCTWORK PENETRATION CURBS, PLUMBING VENTS, PARAPETS, ROOF TO WALL TRANSITIONS AND ALL OTHER MISC. VERTICAL FLASHINGS ARE TO BE COMPLETELY REMOVED & DISPOSED OF.									
3. CLEAN EXISTING ROOF TO REMOVE MISC. DEBRIS.									
4. INSTALL NEW POLYISO RIGID INSULATION AND 1/2" HIGH COMPRESSIVE COVER BOARD (DENSDECK PRIME OR APPROVED EQUAL) COVER BOARD TO BE MECHANICALLY FASTENED THROUGH NEW INSULATION AND INTO EXISTING WOOD DECK BELOW. FASTENER SPACING SHALL COMPLY WITH ROOF MANUFACTURER'S STANDARDS.									
5. INSTALL NEW FULLY ADHERED ROOF MEMBRANE OVER THE NEW COVER BOARD. REFER TO EPDM ROOFING SPECIFICATIONS AS REFERENCED WITHIN THESE DOCUMENTS.									
6. INSTALL NEW VERTICAL EPDM FLASHING PER DETAILS ON A3.2 THROUGH A3.4.									
7. REFER TO A3.1 THROUGH A3.4 FOR DETAILED SCOPE OF WORK.									
ALLOWANCES									
ALLOWANCE NO. 01: ROOF SHEATHING ALLOWANCE									
CONTRACTOR TO PROVIDE UNIT COST PRICING AND HOLD ALLOWANCE FOR A MINIMUM OF 2 SHEETS OR 64 SF OF ROOF SHEATHING.									
ALLOWANCE NO. 02: BRICK REPAIR/POINTING ALLOWANCE									
CONTRACTOR TO HOLD ALLOWANCE FOR 40SF OF PARGINING, MASONRY REPOINTING AND BRICK REPAIR AT SOUTHWEST CORNER OF TELEPHONE BUILDING; REFER TO KEYNOTE 320 ON DWG. A3.2									
ARCHITECTURAL PLAN SYMBOLS									
									

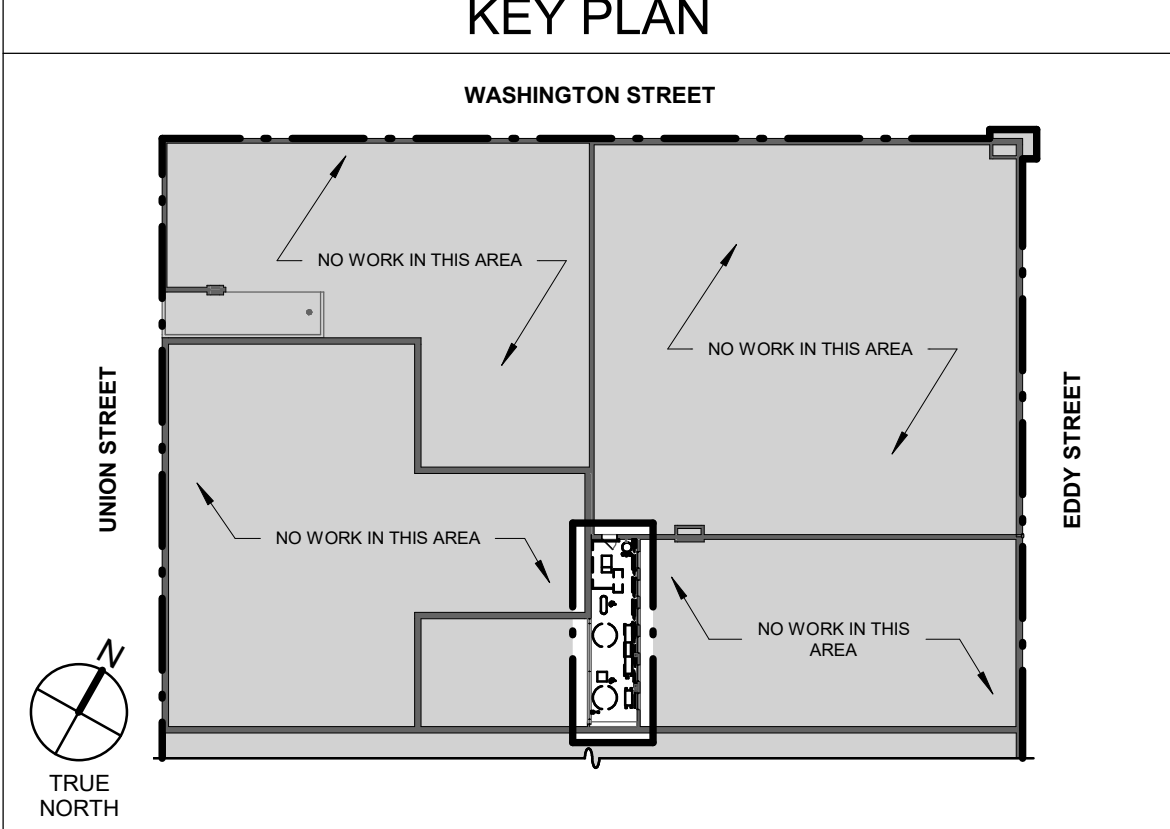
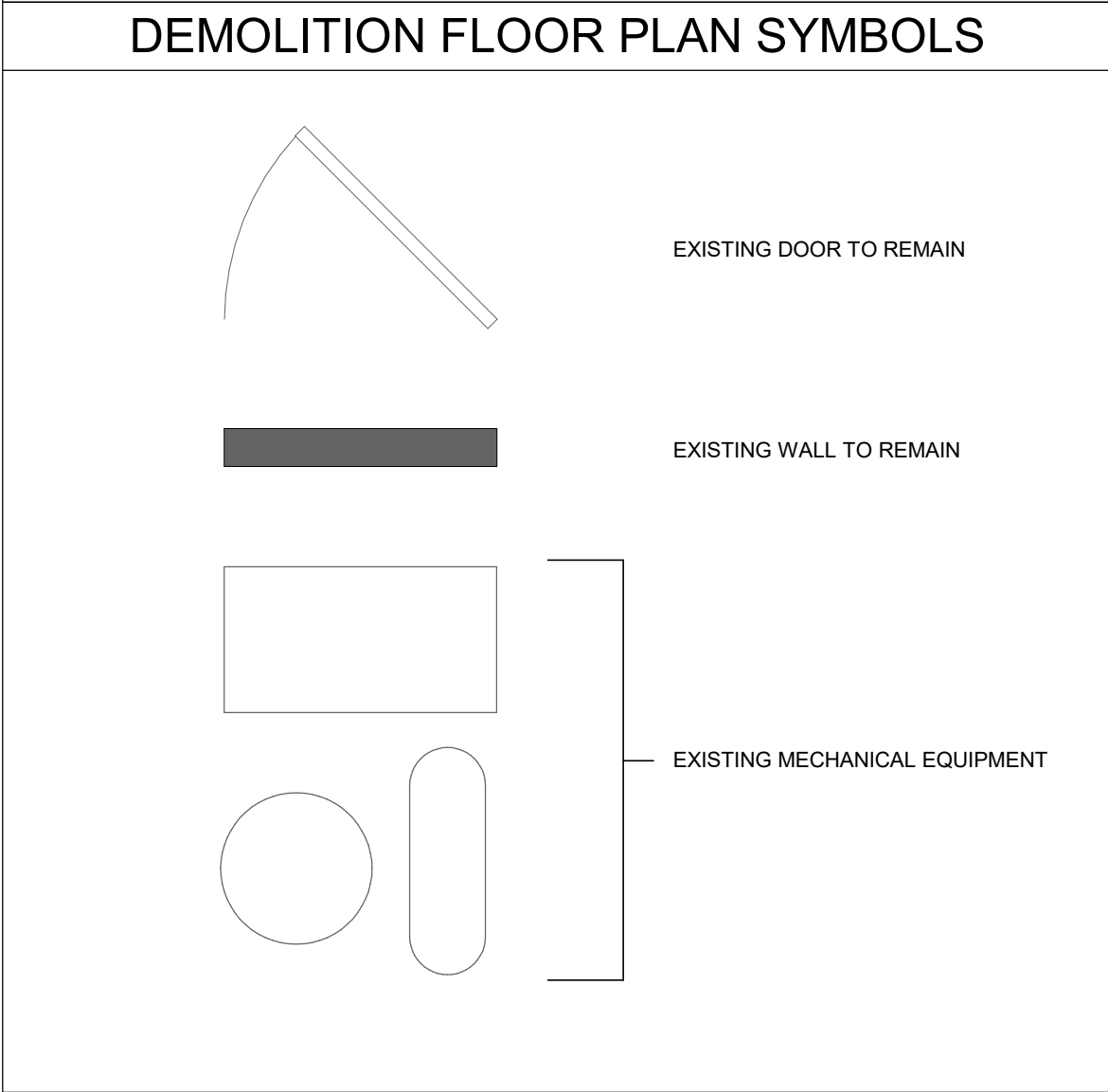
GENERAL REQUIREMENTS		GENERAL REQUIREMENTS		GENERAL REQUIREMENTS CONT.		DIVISION 07- FULLY ADHERED EPDM ROOFING SYSTEM		DIVISION 07- FULLY ADHERED EPDM ROOFING SYSTEM CONT.		VISION 3 ARCHITECTS	
<div>1. PLAN OF OPERATIONS: A. PRIOR TO COMMENCING ANY WORK, SUBMIT A PLAN SHOWING CONTRACTOR'S INTENDED USE OF THE WORK SITE, INCLUDING ON SITE STORAGE OF MATERIALS, ON SITE HANDLING OF MATERIALS, AND FIELD OFFICES. 2. TEMPORARY FACILITIES AND CONTROLS: A. GENERAL: INSTALLATION AND REMOVAL OF AND USE CHARGES FOR TEMPORARY FACILITIES SHALL BE INCLUDED IN THE CONTRACT SUM UNLESS OTHERWISE INDICATED. ALLOW OTHER ENTITIES TO USE TEMPORARY SERVICES AND FACILITIES WITHOUT COST, INCLUDING, BUT NOT LIMITED TO, OWNERS CONSTRUCTION FORCES, ARCHITECT, OCCUPANTS OF PROJECT, TESTING AGENCIES, AND AUTHORITIES HAVING JURISDICTION. B. WATER SERVICE FROM EXISTING SYSTEM: WATER FROM OWNER'S EXISTING WATER SYSTEM IS AVAILABLE FOR USE WITHOUT METERING AND WITHOUT PAYMENT OF USE CHARGES. PROVIDE CONNECTIONS, EXTENSIONS AND REMOVAL OF SERVICES AS REQUIRED FOR CONSTRUCTION OPERATIONS. C. ELECTRIC POWER SERVICE FROM EXISTING SYSTEM: ELECTRIC POWER FROM OWNERS EXISTING SYSTEM IS AVAILABLE FOR USE WITHOUT METERING AND WITHOUT PAYMENT OF USE CHARGES. PROVIDE CONNECTIONS, EXTENSIONS AND REMOVAL OF SERVICES AS REQUIRED FOR CONSTRUCTION OPERATIONS. D. TELEPHONE SERVICE: RHODE ISLAND HOUSING PROVIDED TELEPHONE SERVICE WILL NOT BE PROVIDED. E. INTERNET SERVICE: RHODE ISLAND HOUSING PROVIDED INTERNET SERVICE WILL NOT BE PROVIDED.</div>		<div>F. STORAGE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING STORAGE AS REQUIRED TO ACCOMMODATE MATERIALS AND EQUIPMENT FOR CONSTRUCTION OPERATIONS. ALL FEES ASSOCIATED WITH SUCH STORAGE FACILITIES WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. G. TOILET FACILITIES: THE RHODE ISLAND HOUSING PROJECT MANAGER WILL DESIGNATE THE USE OF CITY FOR TOILET FACILITIES. THE CONTRACTOR WILL BE RESPONSIBLE TO REQUEST REQUIRED TO ENGAGE THE SERVICES OF A PROFESSIONAL CLEANING COMPANY TO CLEAN AND MAINTAIN SUCH FACILITY IN A CONDITION ACCEPTABLE TO OWNER. AT SUBSTANTIAL COMPLETION, RESTORE TOILET FACILITIES TO ORIGINAL EXISTING CONDITION. INITIAL USE: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE AND/ OR VANDALISM THAT IS CAUSED TO THE TOILET FACILITY PRIOR TO TURNING FACILITY BACK OVER TO OWNER. H. ISOLATION OF WORK AREAS IN OCCUPIED FACILITIES: AS REQUIRED BY CONSTRUCTION ACTIVITIES AND THE LEVEL OF WORK SCHEDULED TO BE PERFORMED UNDER THIS CONTRACT, PREVENT DUST, FUMES, AND ODORS FROM ENTERING OCCUPIED AREAS. THE CONTRACTOR SHALL COORDINATE WITH THE ARCHITECT AND THE ARCHITECT AND THE ARCHITECT AND OWNER PRIOR TO COMMENCING ANY WORK. a. PRIOR TO COMMENCING WORK, ISOLATE THE HVAC SYSTEM IN THE AREA WHERE WORK IS TO BE PERFORMED. b. PRIOR TO COMMENCING WORK, PROTECT EXISTING FIRE ALARM AND SMOKE DETECTORS FROM DUST WHERE WORK IS TO BE PERFORMED. c. MAINTAIN NEGATIVE AIR PRESSURE WITHIN WORK AREA USING HEPA-EQUIPPED AIR-FILTRATION UNITS, STARTING WITH COMMENCEMENT OF TEMPORARY PARTITION CONSTRUCTION, AND CONTINUING UNTIL REMOVAL OF TEMPORARY PARTITIONS IS COMPLETE. d. MAINTAIN DUST PARTITIONS DURING THE WORK. USE VACUUM COLLECTION ATTACHMENTS ON DUST-PRODUCING EQUIPMENT. ISOLATE LIMITED WORK WITHIN OCCUPIED AREAS USING PORTABLE DUST-CONTAINMENT DEVICES. e. PERFORM DAILY CLEANUP AND FINAL CLEANUP USING APPROVED, HEPA-FILTER-EQUIPPED VACUUM EQUIPMENT. I. VENTILATION AND HUMIDITY CONTROL: PROVIDE TEMPORARY VENTILATION FOR CURING OR DRYING OF COMPLETED INSTALLATIONS. PROVIDE TEMPORARY VENTILATION TO PREVENT FROM ADVERSE EFFECTS OF HIGH HUMIDITY. SELECT EQUIPMENT THAT WILL NOT HAVE A HARMFUL EFFECT ON COMPLETED INSTALLATIONS OR ELEMENTS BEING INSTALLED. COORDINATE VENTILATION REQUIREMENTS TO PRODUCE AMBIENT CONDITION REQUIRED AND MINIMIZE ENERGY CONSUMPTION. J. LIGHTING: PROVIDE TEMPORARY LIGHTING WITH LOCAL SWITCHING THAT PROVIDES ADEQUATE ILLUMINATION FOR CONSTRUCTION OPERATIONS, OBSERVATIONS, INSPECTIONS, AND TRAFFIC CONDITIONS. INSTALL AND MAINTAIN TEMPORARY LIGHTING THAT FILLS SECURITY AND PROTECTION REQUIREMENTS WITHOUT OPERATING ENTIRE SYSTEM. K. PARKING: THE CONTRACTOR IS RESPONSIBLE FOR SECURING PARKING FOR THEIR PERSONNEL AND WORK VEHICLES AS WELL AS ALL FEES ASSOCIATED WITH THE SAME. L. WASTE DISPOSAL FACILITIES: COORDINATE WITH THE OWNER DURING THE PRECONSTRUCTION MEETING. COLLECT WASTE FROM CONSTRUCTION AREAS AND ELSEWHERE DAILY. COMPLY WITH REGS FOR HAZARDOUS WASTE. PROVIDE CONTAINERS FOR COMBUSTIBLE WASTE MATERIAL AND DEBRIS. ENFORCE REQUIREMENTS STRICTLY. HANDLE HAZARDOUS, DANGEROUS, OR UNSANITARY WASTE MATERIALS SEPARATELY FROM OTHER WASTE BY CONTAINERIZING PROPERLY. DISPOSE OF MATERIAL LAWFULLY. M. LIFTS AND HOISTS: PROVIDE FACILITIES FOR NECESSARY FOR PERSONALS AND PERSONNEL. N. EXISTING ELEVATOR USE: USE OF OWNERS EXISTING ELEVATORS MAY BE PERMITTED, PROVIDED ELEVATORS ARE CLEANED AND MAINTAINED AND ACCEPTABLE TO OWNER. AT SUBSTANTIAL COMPLETION, RESTORE ELEVATORS TO CONDITION EXISTING BEFORE INITIAL USE. a. DO NOT LOAD ELEVATORS BEYOND THEIR RATED WEIGHT CAPACITY. b. PROVIDE PROTECTIVE COVERINGS, BARRIERS, DEVICES, SIGNS, OR OTHER PROCEDURES TO PROTECT ELEVATOR CAR AND ENTRANCE DOORS AND FRAME, IF, DESPITE SUCH PROTECTION, ELEVATOR IS DAMAGED OR OTHERWISE UNUSABLE. INSTALLER TO RESTORE DAMAGED WORK SO NO EVIDENCE REMAINS OF CORRECTION WORK. RETURN ITEMS THAT CANNOT BE REFINISHED IN FIELD TO THE SHOP. MAKE REQUIRED REPAIRS AND REFINISH ENTIRE UNIT, OR PROVIDE NEW UNITS AS REQUIRED. O. MATERIAL / DEBRIS TRANSFER AND DISPOSAL: PROVIDE TEMPORARY CONTAINERS FOR BUILDING IN A MATTER TO MINIMIZE DUST, DIRT, AND VAPOR MIGRATION. COVER AND WRAP ALL PRODUCTS BEING TRANSPORTED TO PREVENT LEAKAGE AND SPILLAGE. PROVIDE MOPPING AND VACUUMING OF ALL AREAS OUTSIDE THE CONTRACT AREA AS REQUIRED IN MAINTAINING A CLEAN PUBLIC ENVIRONMENT. a. TRANSPORT ALL MATERIALS, DEBRIS, AND PRODUCTS ALONG A PATH AS DIRECTED BY THE RHODE ISLAND HOUSING PROJECT MANAGER. P. EXISTING STAIR USAGE: USE OF OWNERS EXISTING STAIRS MAY BE PERMITTED, PROVIDED STAIRS ARE CLEANED AND MAINTAINED IN A CONDITION ACCEPTABLE TO OWNER. AT SUBSTANTIAL COMPLETION, RESTORE STAIRS TO CONDITION EXISTING BEFORE INITIAL USE. a. PROVIDE PROTECTIVE COVERINGS, BARRIERS, DEVICES, SIGNS, OR OTHER PROCEDURES TO PROTECT STAIRS AND TO MAINTAIN MEANS OF EGRESS. IF STAIRS BECOME DAMAGED, RESTORE DAMAGED AREAS SO NO EVIDENCE REMAINS OF CORRECTION WORK. Q. PROTECTION OF EXISTING FACILITIES: PROTECT EXISTING VEGETATION, EQUIPMENT, STRUCTURES, UTILITIES, AND OTHER IMPROVEMENTS AT PROJECT SITE AND ON ADJACENT PROPERTIES. EXISTING FACILITIES THAT ARE TO BE REMOVED OR ALTERED, REPAIR DAMAGE TO EXISTING FACILITIES. R. ENVIRONMENTAL PROTECTION: PROVIDE PROTECTION, OPERATE TEMPORARY FACILITIES, AND CONDUCT CONSTRUCTION OPERATIONS IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND THAT MINIMIZE POSSIBLE AIR, WATERWAY, AND SUBSOIL CONTAMINATION OR POLLUTION OR OTHER UNDESIRABLE EFFECTS. S. TEMPORARY FIRE PROTECTION: INSTALL AND MAINTAIN TEMPORARY FIRE PROTECTION FACILITIES OF TYPES NEEDED TO PROTECT AGAINST REASONABLY PREDICTABLE AND CONTROLLABLE FIRE LOSSES. DEVELOP AND SUBMIT A PLAN FOR COMPLIANCE WITH NFPA 241, MANAGE FIRE-PREVENTION PROGRAM. T. SECURITY ENCLOSURE AND LOCKUP: INSTALL TEMPORARY ENCLOSURE AROUND PARTIALLY COMPLETED AREAS OF CONSTRUCTION. PROVIDE LOCKABLE ENTRANCES TO PREVENT UNAUTHORIZED ENTRANCE, VANDALISM, THEFT, AND SIMILAR VIOLATIONS OF SECURITY. PROVIDE LOCKS TO ALLOW ACCESS TO THE PROJECT SITE AND TO THE LOCK. THE LOCK OWNER WILL PROVIDE KEY. CONTRACTOR TO INSTALL CYLINDER WHERE REQUIRED. LOCK ENTRANCES AT END OF EACH WORK DAY. U. BARRICADES, WARNING SIGNS, AND LIGHTS: COMPLY WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION FOR ERECTING STRUCTURALLY ADEQUATE BARRICADES, INCLUDING WARNING SIGNS AND LIGHTING. V. TEMPORARY EGRESS: MAINTAIN TEMPORARY EGRESS FROM EXISTING OCCUPIED FACILITIES AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION. W. TEMPORARY ENCLOSURES: PROVIDE TEMPORARY ENCLOSURES FOR PROTECTION OF CONSTRUCTION, IN PROGRESS AND COMPLETED, FROM CONSTRUCTION OPERATIONS, AND SIMILAR ACTIVITIES. TEMPORARY PARTITIONS SHALL EXTEND FROM THE FLOOR TO UNDERSIDE OF STRUCTURAL DECK, DUSTPROOF PARTITIONS TO LIMIT DUST AND DIRT MIGRATION AND TO SEPARATE AREAS OCCUPIED BY OWNER AND TENANTS FROM FUMES AND NOISE. PROTECT AIR HANDLING EQUIPMENT. PROVIDE WALK-OFF MATS AT EACH ENTRANCE THROUGH TEMPORARY PARTITION. 3. USE OF PREMISES: A. GENERAL: CONTRACTOR SHALL HAVE LIMITED USE OF PREMISES FOR CONSTRUCTION OPERATIONS AS DIRECTED AND OUTLINED BY THE OWNER. B. USE OF SITE: LIMIT USE OF PREMISES TO WORK IN AREAS INDICATED. THE ADJACENT AREAS WILL REMAIN OPERATIONAL DURING THE ENTIRE CONSTRUCTION PERIOD. DO NOT DISTURB PORTIONS OF PROJECT SITE BEYOND AREAS IN WHICH THE WORK IS INDICATED. a. LIMITS: CONFINE CONSTRUCTION OPERATIONS TO THE CONTRACT LIMIT LINES. b. OWNER OCCUPANCY: ALLOW FOR OWNER OCCUPANCY OF ADJACENT AREAS AND USE BY THE PUBLIC. c. SIDEWALKS AND ENTRANCES: KEEP SIDEWALKS AND ENTRANCES SERVING PREMISES CLEAR AND AVAILABLE TO OWNER, OWNER'S EMPLOYEES, THE GENERAL PUBLIC, AND EMERGENCY VEHICLES AT ALL TIMES. DO NOT USE THESE AREAS FOR PARKING OR STORAGE OF MATERIALS. d. SCHEDULE DELIVERIES TO MINIMIZE USE OF SIDEWALKS AND ENTRANCES. e. SCHEDULE DELIVERIES TO MINIMIZE SPACE AND TIME REQUIREMENTS FOR STORAGE OF MATERIALS AND EQUIPMENT ON SITE. f. IF REQUIRED, CONTRACTOR RESPONSIBLE FOR APPLICATION OF CONSTRUCTION STREET / SIDEWALK CLOSING PERMIT. C. USE OF EXISTING BUILDING: REPAIR DAMAGE CAUSED BY CONSTRUCTION OPERATIONS. PROTECT BUILDING AND ITS OCCUPANTS DURING CONSTRUCTION PERIOD. 4. COORDINATION WITH OCCUPANTS: A. PARTIAL OWNER OCCUPANCY: OWNER WILL OCCUPY THE PREMISES DURING ENTIRE CONSTRUCTION PERIOD, WITH THE EXCEPTION OF AREAS UNDER CONSTRUCTION. COOPERATE WITH OWNER DURING CONSTRUCTION OPERATIONS TO MINIMIZE CONFLICTS AND FACILITATE OWNER USAGE. PERFORM WORK IN SUCH A MANNER THAT IT DOES NOT INTERFERE WITH OWNER'S OPERATIONS. MAINTAIN EXISTING EXITS UNLESS OTHERWISE INDICATED. a. MAINTAIN ACCESS TO EXISTING WALKWAYS, CORRIDORS, AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE OR OBSTRUCT WALKWAYS, CORRIDORS, OR OTHER OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION FROM OWNER AND AUTHORITIES HAVING JURISDICTION. b. PROVIDE NOT LESS THAN 72 HOURS' NOTICE TO OWNER OF ACTIVITIES THAT WILL AFFECT OWNER'S OPERATIONS. 5. WORK RESTRICTIONS: A. WORK RESTRICTIONS, GENERAL: COMPLY WITH RESTRICTIONS ON CONSTRUCTION OPERATIONS. a. COMPLY WITH LIMITATIONS ON USE OF PUBLIC STREETS AND WITH OTHER REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION. B. ON-SITE WORK HOURS: ALL WORK UNDER THIS CONTRACT SHALL BE PERFORMED DURING THE OWNER'S REGULAR BUSINESS WORK HOURS (7AM - 4PM), UNLESS OTHERWISE INDICATED OR ADJUSTED BY THE OWNER. WORK ON SATURDAYS AND SUNDAYS MAY BE ALLOWED ONLY AFTER REVIEW AND APPROVAL BY THE OWNER. C. EXISTING UTILITY INTERRUPTIONS: DO NOT INTERRUPT UTILITY SERVICES SERVING FACILITIES OCCUPIED BY OWNER OR OTHERS UNLESS PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER PROVIDING TEMPORARY UTILITY SERVICES ACCORDING TO REQUIREMENTS INDICATED. a. NOTIFY OWNER NOT LESS THAN TWO DAYS IN ADVANCE OF PROPOSED UTILITY INTERRUPTIONS. b. OBTAIN OWNERS WRITTEN PERMISSION BEFORE PROCEEDING WITH UTILITY INTERRUPTIONS. c. ANY APPROVED INTERRUPTIONS SHALL BE PERFORMED DURING THE OWNERS BUSINESS OFF WORK HOURS OR ON WEEKEND DAYS. D. NOISE, VIBRATION, AND ODORS: COORDINATE OPERATIONS THAT MAY RESULT IN HIGH LEVELS OF NOISE AND VIBRATION, ODORS, OR OTHER DISRUPTIONS TO OWNER OCCUPANCY WITH OWNER. E. NONSMOKING BUILDING: SMOKING IS NOT PERMITTED ON THE PROJECT SITE OR WITHIN 25 FEET OF ENTRANCES, OPERABLE WINDOWS, OR OUTDOOR-AIR INTAKES. F. CONTROLLED SUBSTANCES: USE OF TOBACCO PRODUCTS AND OTHER CONTROLLED SUBSTANCES ON THE PROJECT SITE IS NOT PERMITTED. G. INAPPROPRIATE LANGUAGE: USE OF INAPPROPRIATE OR FOUL LANGUAGE ON THE PROJECT SITE IS NOT PERMITTED. THE OWNER RESERVES THE RIGHT TO IMMEDIATELY REMOVE FROM THE PROJECT SITE ANY WORKER FOUND USING INAPPROPRIATE AND/OR FOUL LANGUAGE.</div>		<div>6. CONTRACT REQUIREMENTS & GENERAL CONDITIONS: A. THE CONTRACT SHALL BE AIA DOCUMENT A101, STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR WHERE THE BASIS OF PAYMENT IS A STIPULATED SUM. B. THE CONTRACT GENERAL CONDITIONS SHALL BE AIA DOCUMENT A201, GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION. C. THE RHODE ISLAND HOUSING PROJECT MANAGER WILL DESIGNATE THE USE OF CITY FOR TOILET FACILITIES. THE CONTRACTOR WILL BE RESPONSIBLE TO REQUEST REQUIRED TO ENGAGE THE SERVICES OF A PROFESSIONAL CLEANING COMPANY TO CLEAN AND MAINTAIN SUCH FACILITY IN A CONDITION ACCEPTABLE TO OWNER. AT SUBSTANTIAL COMPLETION, RESTORE TOILET FACILITIES TO ORIGINAL EXISTING CONDITION. INITIAL USE: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGE AND/ OR VANDALISM THAT IS CAUSED TO THE TOILET FACILITY PRIOR TO TURNING FACILITY BACK OVER TO OWNER. D. AFFIRMATIVE ACTION MUST BE TAKEN TO RECRUIT AND ADVANCE QUALIFIED MINORITIES, WOMEN, PERSONS WITH DISABILITIES, AND COVERED VETERANS. REFER TO THE RHODE ISLAND HOUSING AFFIRMATIVE ACTION REQUIREMENTS PROVIDED AS AN ATTACHMENT TO THIS CONTRACT. E. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL PARKING FEES ASSOCIATED WITH THIS PROJECT. F. THE SUBJECT IS TAX EXEMPT FOR ALL MATERIAL PURCHASES. REFER TO RHODE ISLAND DEPARTMENT OF ADMINISTRATION DIVISION OF TAXATION EXEMPTION CERTIFICATE PROVIDED AS AN ATTACHMENT TO THIS DOCUMENT FOR ADDITIONAL INFORMATION. G. PREVAILING WAGES APPLY TO THIS PROJECT FOR BUILDING AND HEAVY CONSTRUCTION PROJECTS LOCATED IN PROVIDENCE COUNTY. THE CONTRACTOR SHALL REFER TO THE U.S. DEPARTMENT OF LABOR'S WAGE AND HOUR DIVISION (WHD) WEBSITE TO OBTAIN THE APPROPRIATE DAVIS-BACON ACT (DBA) WAGE DETERMINATIONS (WDS) FOR THIS CONTRACT. WEBSITE: WWW.DOL.GOV. H. STATE OF RHODE ISLAND, DIVISION OF TAXATION, DEPARTMENT OF REVENUES SALES AND USE TAX, REGULATION SU 91-27, CONTRACTORS AND SUBCONTRACTORS "REGULATION C" IS APPLICABLE. NON-RESIDENT CONTRACTOR COMPLIANCE AND AFFIDAVITS WILL BE REQUIRED IF APPLICABLE. 7. PAYMENT & CLOSE-OUT DOCUMENTATION REQUIREMENTS: A. NO PAYMENTS WILL BE MADE TO THE CONTRACTOR UNLESS THESE OWNER DOCUMENTATION REQUIREMENTS ARE MET. NO EXCEPTIONS WILL BE MADE TO THESE REQUIREMENTS. a. PAYMENT DOCUMENTATION • AIA G702 APPLICATION AND CERTIFICATE FOR PAYMENT CERTIFIED BY ARCHITECT • AIA G703 CONTINUATION SHEET AS AN ATTACHMENT TO AIA G702 • SUBCONTRACTOR LIST • WAIVER OF PAYMENT FROM GENERAL CONTRACTORS & SUBCONTRACTORS • LIEN AFFIDAVIT FORM (AIA G706A WITH "NO EXCEPTIONS") • UPDATE CONSTRUCTION BAR CHART SCHEDULE • RHODE ISLAND HOUSING AFFIRMATIVE ACTION REPORTS • WEEKLY CERTIFIED PAYROLLS • APPROVED CHANGE ORDERS WITH BACK-UP (IF ANY) • CONSENT OF SURETY IF PARTIAL OR FINAL RELEASE OF RETAINAGE • STORED MATERIAL INVOICES (INSURANCE CERTIFICATE, OWNER INSPECTION & TITLE TRANSFER FOR OFF-SITE MATERIALS) • INVOICES FOR DIRECT PAYMENT • INSURANCE CERTIFICATES, PERMITS & BONDS SUBMITTED PRIOR TO ANY RELEASE OF PAYMENTS • 100% PAYMENT & PERFORMANCE BONDS (AIA A312) b. PROJECT CLOSE-OUT DOCUMENTATION: • RIH INSPECTING ARCHITECT CERTIFICATION WITH A/E PUNCH LIST SIGN-OFFS • EXECUTED AIA SUBSTANTIAL COMPLETION FORM • CONTRACTOR & SUBCONTRACTOR 1-YR WRITTEN WARRANTY • EVIDENCE OF NON-RESIDENT CONTRACTOR COMPLIANCE • "AS BUILT DRAWINGS" WITH ARCHITECT'S TRANSMITTAL OF COMPLIANCE • SUBMISSION OF FINISH REQUISITION WITH ALL REQUIRED BACK-UP • OPERATING AND MAINTENANCE (O&M) MANUALS • FINAL COMMISSIONING REPORTS AND SYSTEMS MANUALS • PROVIDE A MIN. 30-YEAR ROOF WARRANTY; REFER TO DIVISION 07 SPECIFICATIONS FOR ADDITIONAL INFORMATION • PROVIDE ROOF MANUFACTURER'S WRITTEN SIGN OFF ON ROOF WORK • PROVIDE FLOOD TEST OF ROOF AT PROJECT COMPLETION c. WARRANTIES AND GUARANTEES: • THE CONTRACTOR SHALL INCLUDE, WITHIN THE OPERATING AND MAINTENANCE MANUAL, ORGANIZATIONAL STRUCTURE FOR EACH SYSTEM, EQUIPMENT ITEM, OR MATERIAL, CONTRACTOR SHALL INCLUDE THE MANUFACTURER'S WARRANTY AND GUARANTEE. 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KEYNOTES - DEMOLITION PLAN	
001	REMOVE AND DISPOSE OF EXISTING ROOF DOWN TO WOOD DECK. PREPARE EXISTING WOOD DECK TO RECEIVE NEW INSULATION, COVERBOARD AND EPDM ROOF.
002	EXISTING BOILER / FURNACE VENT TO BE TEMPORARILY UNINSTALLED TO ALLOW FOR REMOVAL OF EXISTING BUILT-UP ROOF CURB AND FLASHING.
003	EXISTING VENTS TO BE TEMPORARILY UNINSTALLED TO ALLOW FOR REMOVAL OF EXISTING BUILT-UP ROOF ASSEMBLY AND ASSOCIATED FLASHING.
004	EXISTING GOOSE NECK EXHAUST DUCT TO BE TEMPORARILY UNINSTALLED TO ALLOW FOR REMOVAL OF EXISTING BUILT-UP ROOF CURB AND FLASHING.
005	EXISTING ROOFTOP EQUIPMENT TO BE TEMPORARILY UNINSTALLED TO ALLOW FOR REMOVAL OF EXISTING BUILT-UP ROOF FLASHING, AND INSTALLATION OF NEW ROOF / FLASHING. UPON REINSTALLATION REPLACE EXISTING SLEEPERS WITH NEW PT. 4X4'S LENGTHS TO MATCH EXISTING.
006	EXISTING VENT PIPE TO BE TEMPORARILY UNINSTALLED TO ALLOW FOR REMOVAL OF EXISTING BUILT-UP ROOF AND FLASHING.
007	EXISTING ROOF DRAIN TO BE TEMPORARILY UNINSTALLED TO ALLOW FOR REMOVAL OF EXISTING BUILT-UP ROOF AND FLASHING. INSPECT AND REPLACE WOOD NAILER AS REQUIRED.
008	EXISTING BOILER / FURNACE VENT TO BE TEMPORARILY UNINSTALLED TO ALLOW FOR REMOVAL OF EXISTING BUILT-UP ROOF CURB AND FLASHING.
009	REMOVE AND DISPOSE OF ABANDONED POWER SHUT OFF, PATCH / REPAIR WOOD DECK AS NEEDED.
010	EXISTING EXHAUST FAN TO BE TEMPORARILY UNINSTALLED TO ALLOW FOR REMOVAL OF EXISTING BUILT-UP ROOF CURB AND FLASHING.
011	EXISTING REFRIGERANT LINES, CONDUIT AND MOUNTING PEDESTALS TO BE TEMPORARILY SUPPORTED TO ALLOW FOR REMOVAL OF EXISTING BUILT-UP ROOF AND INSTALLATION OF NEW ROOF.
012	REMOVE AND DISPOSE OF EXISTING TERMINATION BAR, FLASHING AND SEALANT.
013	REMOVE AND DISPOSE OF EXISTING ROOFTOP EQUIPMENT BUILT-UP ROOF FLASHING, SLEEPERS, ASSOCIATED HARDWARE AND POWER / REFRIGERANT LINES.
014	UPON DEMOLITION OF EXISTING ROOF INSPECT ABANDONED DRAIN, CONTRACTOR TO NOTIFY ARCHITECT IF SIGNS OF WATER BACKUP ARE PRESENT.

ROOF DEMOLITION - GENERAL NOTE

BUILT UP ROOF THICKNESS (ASSUMED DEPTH APPROX 5"), AND DETAILS CONTINGENT UPON TEST CORE OF EXISTING ROOF TO DETERMINE DEPTH. UPON AWARD OF CONTRACT, CONTRACTOR TO PROMPTLY SCHEDULE PARTIAL DEMOLITION OF A SMALL SECTION OF EXISTING ROOF DOWN TO DECK AND NOTIFY ARCHITECT OF DEPTH FOR FINAL DETAIL COORDINATION.



VISION 3

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BUILDING ENCLOSURE SCIENCE, LLC

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07-29-2024

V3

**RHODE ISLAND HOUSING
GARR BUILDING - LOW ROOF
REPLACEMENT**

44 WASHINGTON ST
PROVIDENCE, RI, 02903

PROJECT STATUS:

**ISSUED FOR
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DATE: 07/29/24

PROJECT NO: 23057B

DRAWN BY: AG

CHECKED BY: RH, LJZ

REVISIONS:

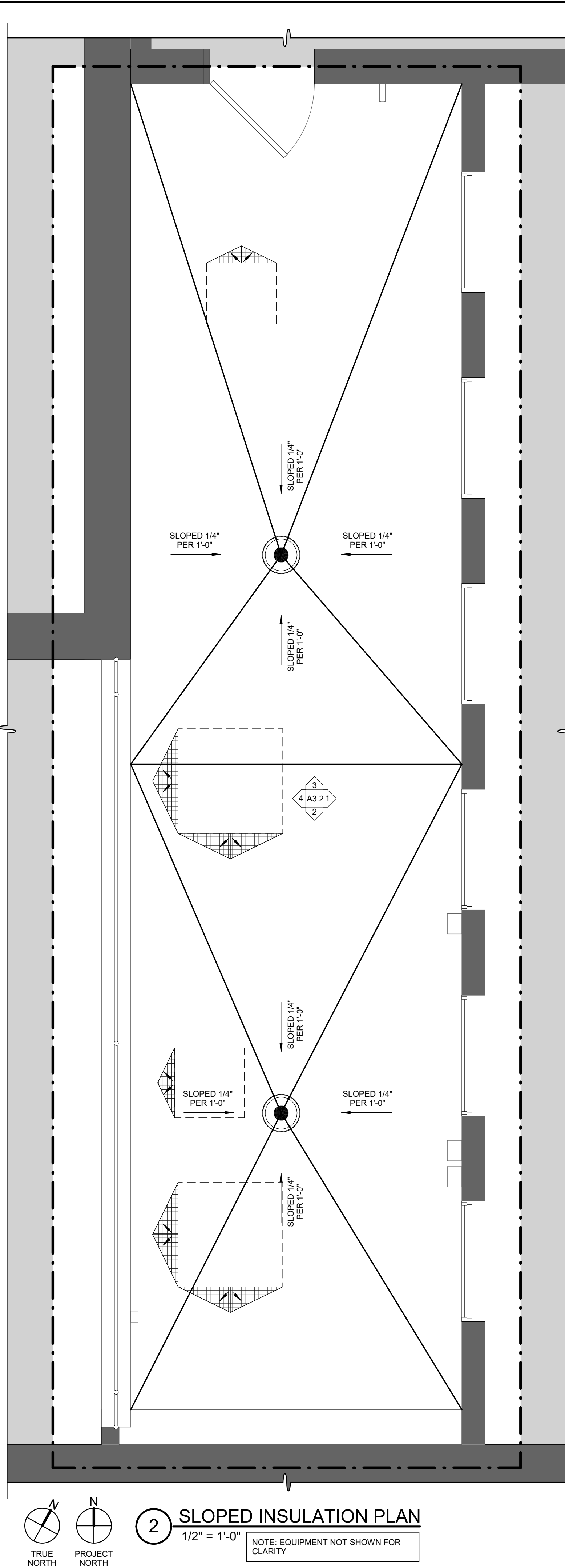
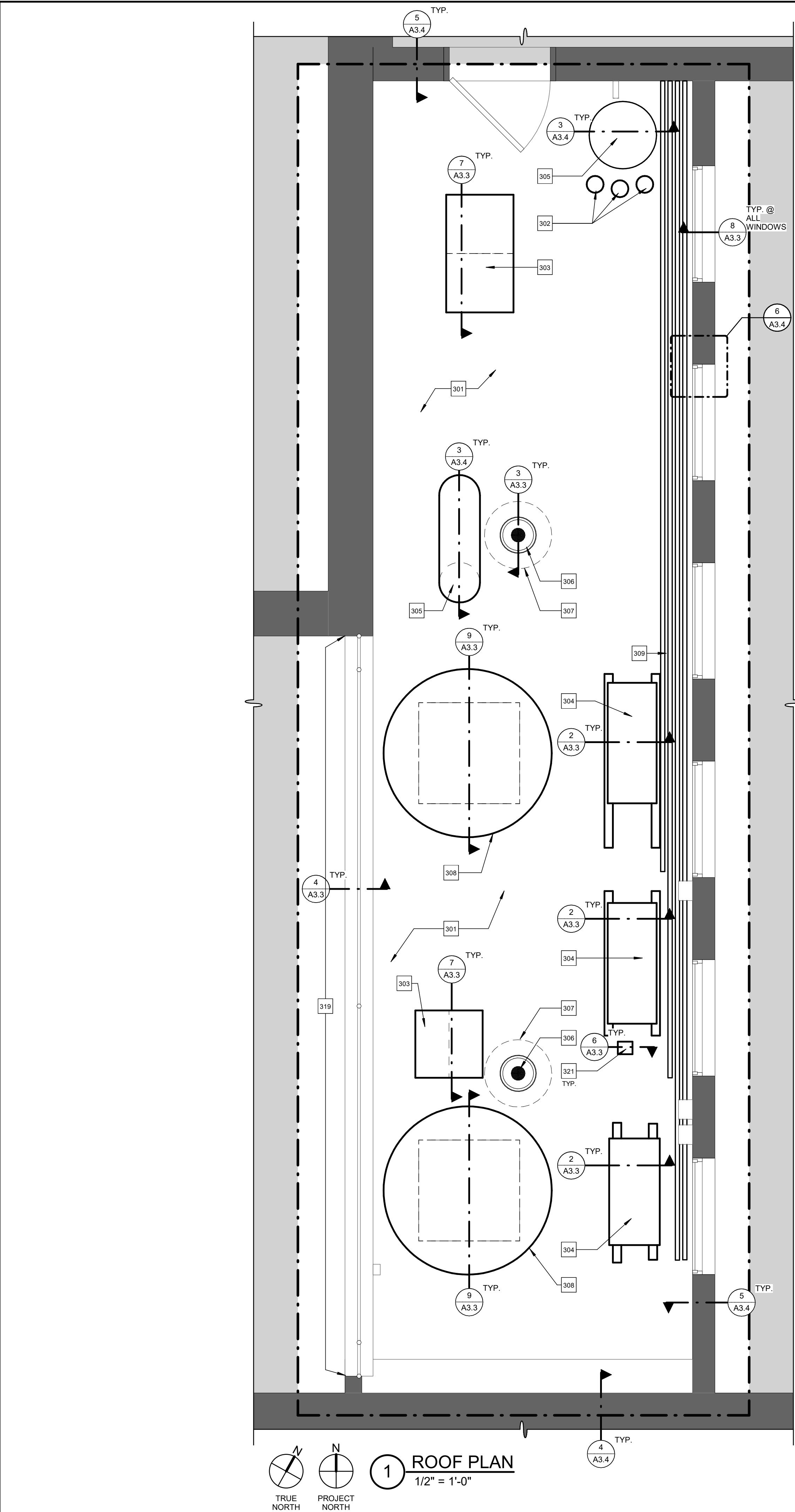
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DRAWING TITLE:

**ROOF
DEMOLITION
PLAN**

DRAWING NO.:

A0.3

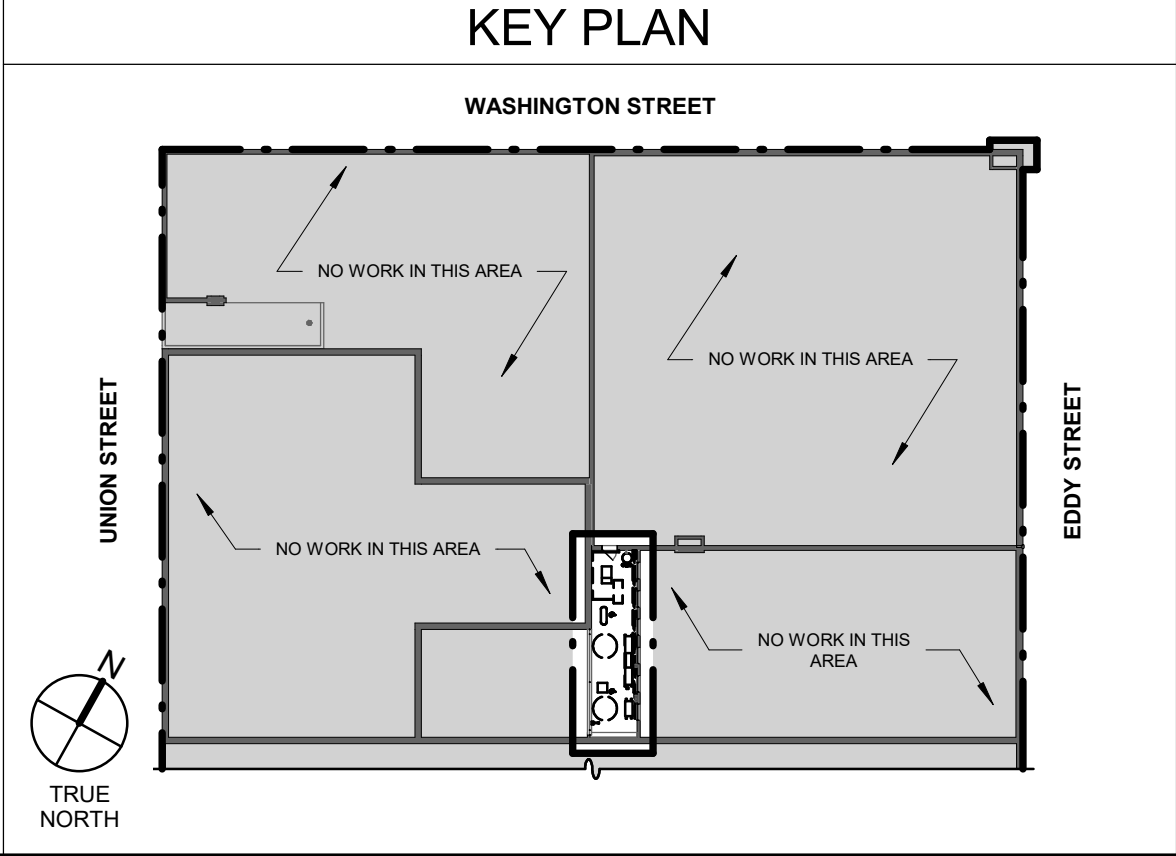


KEYNOTES - ROOF PLAN	
301	NEW ROOF ASSEMBLY; REFER TO DETAIL 1/A3.3
302	REINSTALL SALVAGED PIPE AT EXISTING ROOF PENETRATION; REFER TO DETAIL 6/A3.3
303	REINSTALL DUCTWORK "GOOSE NECK" EXHAUST VENT ON NEW ROOF TOP CURB
304	REINSTALL ROOFTOP CONDENSER, PROVIDE NEW 4X4 SLEEPERS AND REFRIGERANT LINE MOUNTING PEDESTALS
305	REINSTALL SALVAGED BOILER/FURNACE ROOM EXHAUST
306	REINSTALL SALVAGED ROOF DRAIN
307	DE-ICING UNIT AT ROOF DRAIN (KING, MODEL 6RDDJ22) CONFIRM FINAL SIZE WITH ROOF DRAIN
308	REINSTALL ROOFTOP EXHAUST FAN, INSPECT AND PROVIDE NEW BLOCKING AS REQUIRED
309	AFTER COMPLETION OF ROOF ASSEMBLY INSTALLATION, RETURN REFRIGERANT LINE AND CONDUIT TO FINAL LOCATION; PROVIDE NEW LINE INSULATION AND MOUNTING PEDESTALS AS REQUIRED
310	PROPOSED LINE OF COUNTER FLASHING REGLET
311	COUNTER FLASHING TO TURN DOWN ACROSS WINDOW SILL
312	SHADED AREA INDICATES EXISTING PARGED COAT OVER MASONRY BACKUP (BRICK)
313	EXISTING WINDOWS TO REMAIN
314	SEAL ALL ELECTRICAL ATTACHMENTS WITH BACKER ROD AND SEALANT, LEAVE BOTTOM OPEN
315	CAP SEAL MORTAR JOINTS AT COPING
316	EXISTING FENCE TO REMAIN
317	INSTALL BACKER ROD AND SEALANT AT COLD JOINT OF ENTIRE WALL (NOT SHOWN) APPROXIMATE HEIGHT 45'-0"
318	INFILL PATCH AND REPAIR AREA OF BRICK REMOVED FOR TESTING
319	SEAL ALL SIDES OF EXISTING PARAPET COPING WITH NEW FLUID APPLIED ROOFING OR WATERPROOFING, KEMPER 2K-PUR OR SIMILAR
320	DIMENSION INDICATES APPROXIMATE AREA ASSOCIATED WITH ALLOWANCE #2; REFER TO DWG. 0.1
321	RECONNECT REFRIGERANT LINES AT PITCH POCKET

ROOF PLAN SYMBOLS	
	EXISTING DOOR TO REMAIN
	EXISTING WALL TO REMAIN
	NEW GOOSENECK EXHAUST VENT
	NEW BOILER / FURNACE EXHAUST VENT
	SALVAGED ROOFTOP CONDENSER
	NEW PIPE AT EXISTING PENETRATION
	SALVAGED ROOFTOP EXHAUST FAN
	DIRECTION OF SLOPED INSULATION

GENERAL ROOF NOTES	
1. IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW EVERY SINGLE ROOF PENETRATION. CONTRACTOR IS RESPONSIBLE FOR PERFORMING AN ON-SITE INSPECTION OF THE EXISTING CONDITIONS DURING BIDDING AND SHALL INCLUDE FLASHING/SEALING OF MINOR PENETRATIONS NOT INDICATED ON PLANS.	
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AS THEY RELATE TO THE RE-ROOFING (ALL DIMENSIONS GIVEN ARE APPROXIMATE). REPORT ALL OBSERVATIONS AND ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.	
3. ALL NEW AND EXISTING ROOF PENETRATIONS, VENTS, PIPES, CONTROL WIRING, POWER WIRING, DUCTWORK SHALL BE FLASHED PER ROOF MANUFACTURERS REQUIREMENTS.	
4. ALL NEW MECHANICAL RAILS AND CURBS SHALL BE INSTALLED AND FLASHED PER ROOF MANUFACTURER'S WRITTEN REQUIREMENTS, SPECIFICATIONS AND STANDARD DETAILS.	
5. ALL EXISTING ROOF DRAIN LINES SHALL BE ROUTED OUT TO 10' - 0" BEYOND THE LIMITS OF WORK & TESTED AFTER ALL DEMOLITION WORK IS COMPLETED TO ASSURE THAT NO LINES ARE BLOCKED & ALL LINES ARE FUNCTIONING. COORDINATE TIME OF WORK WITH OWNER. SEE P-DWGS. FOR ADDITIONAL INFORMATION.	
6. IT IS THE BIDDER'S RESPONSIBILITY TO VISIT THE SITE AND VERIFY ALL EXISTING CONDITIONS PRIOR TO BID SUBMITTALS. AND SHALL PROVIDE ALL WORK AS REQUIRED TO MEET THOSE CONDITIONS DURING CONSTRUCTION. REFER TO M-DWGS. FOR ADDITIONAL REQUIREMENTS.	
7. DISCONNECT AND RECONNECT ALL EXISTING CONDUIT, PIPE, ETC. TO ALL EXISTING ROOF TOP EQUIPMENT SCHEDULED TO REMAIN DURING ROOF REPLACEMENT. REFER TO M-DWGS.	
8. CONTRACTOR TO REPLACE IN-KIND ALL WOOD SLEEPERS SUPPORTING EXISTING ROOF TOP DUCTWORK. WHEREVER POSSIBLE, SLEEPERS SHALL BE ORIENTED SUCH THAT THEY DO NOT OBSTRUCT POSITIVE DRAINAGE.	
9. REVIEW AND COORDINATE ALL REQUIRED SHUT-DOWNS, ACCESS TO INTERIOR SPACES, AND POTENTIAL BUILDING DISTURBANCES IN ADVANCE WITH OWNER PRIOR TO COMMENCING ANY WORK INCLUDING WORK FOR ROOF DRAINS.	

MASONRY REPAIR NOTES	
1. REMOVE AND DISPOSE OF ALL LOOSE MORTAR. REMOVE AND RE-SET EXISTING BRICKS THAT MAY HAVE COME LOOSE DURING CONSTRUCTION	
2. RE-PACK EXISTING BRICK JOINTS WITH NEW MORTAR. MORTAR TYPE TO MATCH EXISTING. RE-POINT/TOOL JOINTS TO MATCH EXISTING.	
3. IN AREAS IMMEDIATELY ADJACENT TO ROOF, REPLACEMENT + NEW FLASHING.	



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BUILDING ENCLOSURE SCIENCE, LLC

STAMP:

**RHODE ISLAND HOUSING
GARR BUILDING - LOW ROOF
REPLACEMENT**
44 WASHINGTON ST
PROVIDENCE, RI, 02903

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**ISSUED FOR
CONSTRUCTION**

DATE: 07/29/24

PROJECT NO: 23057B

DRAWN BY: AG

CHECKED BY: RH, LJZ

REVISIONS:

DRAWING TITLE:

**ROOF PLAN AND
SLOPED
INSULATION
DIAGRAM**

DRAWING NO.:

A3.1



VISION 3

MAILING ENVELOPE CONSULTANT:
MAILING ENCLOSURE SCIENCE, LLC



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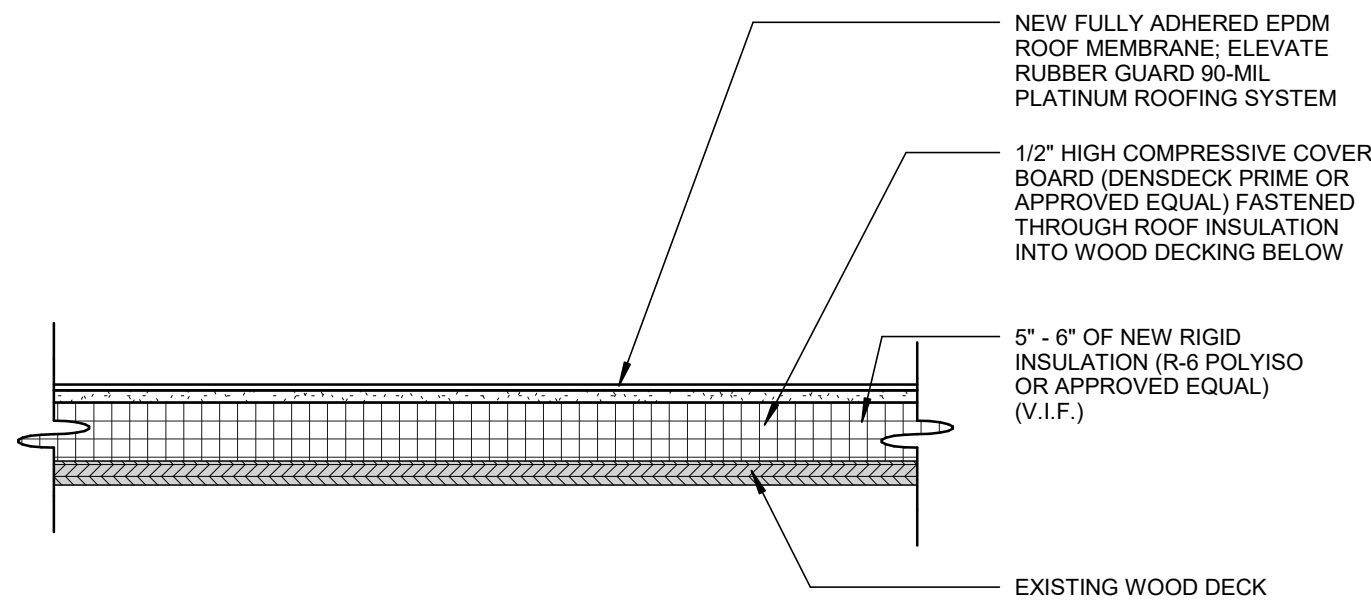
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WORKING TITLE:

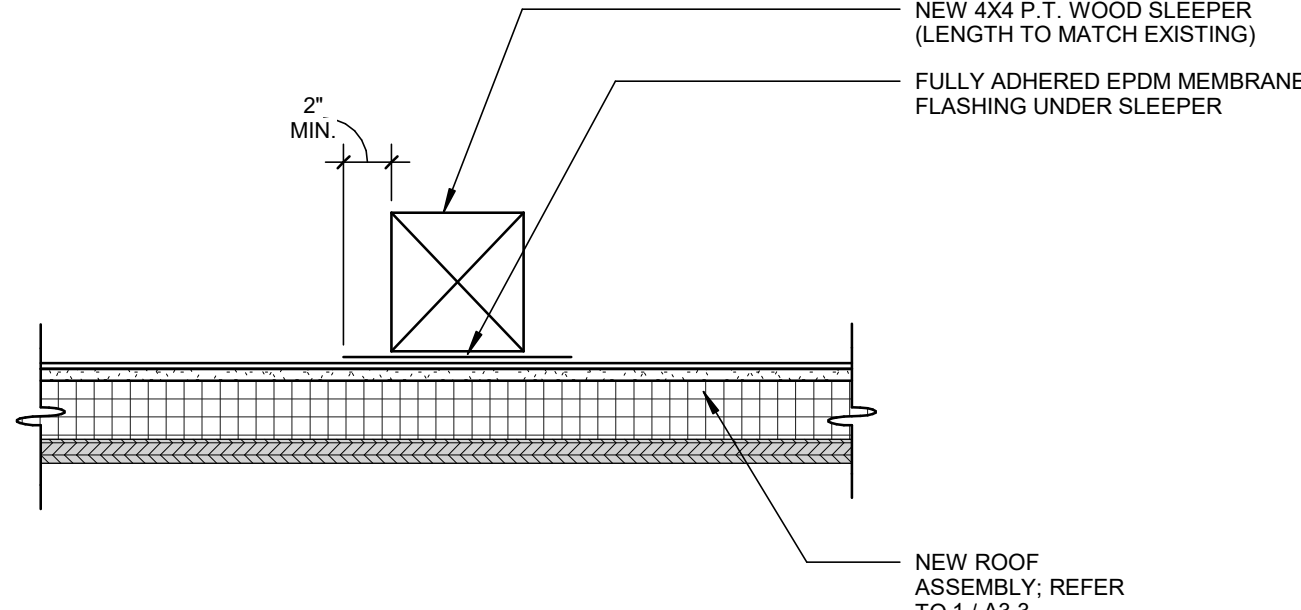
ROOF ELEVATIONS

WING NO.:

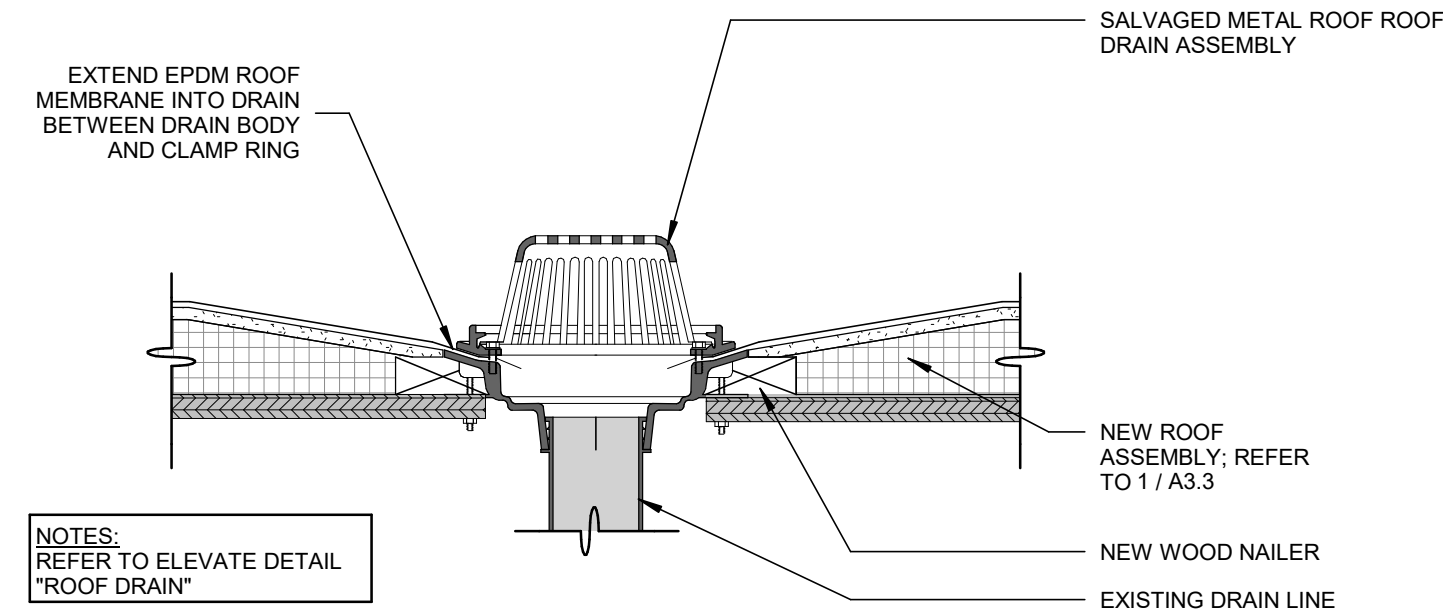
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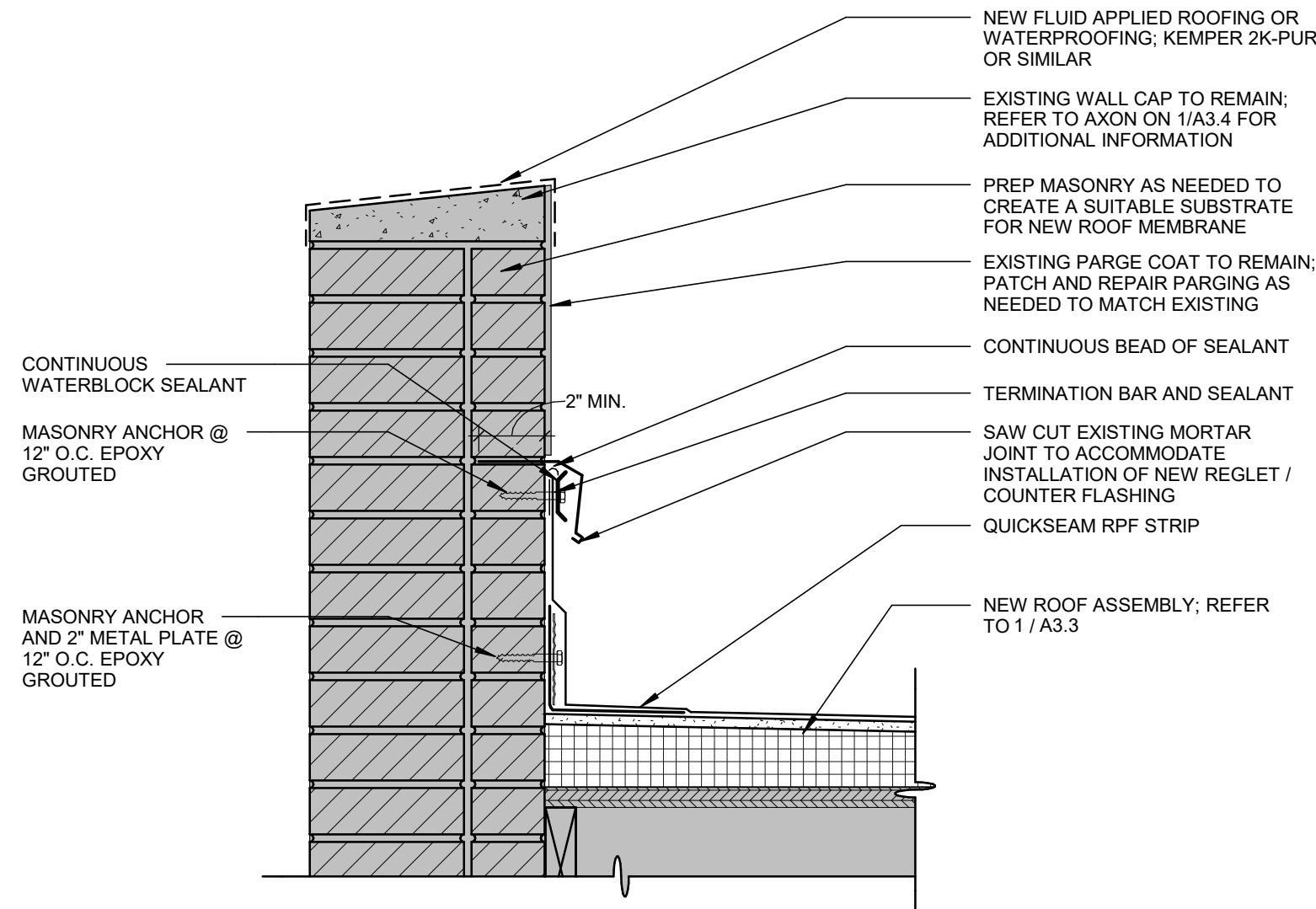
1 DETAIL @ TYPICAL ROOF CONSTRUCTION
1 1/2" = 1'-0"



2 DETAIL @ ROOF SLEEPER
1 1/2" = 1'-0"

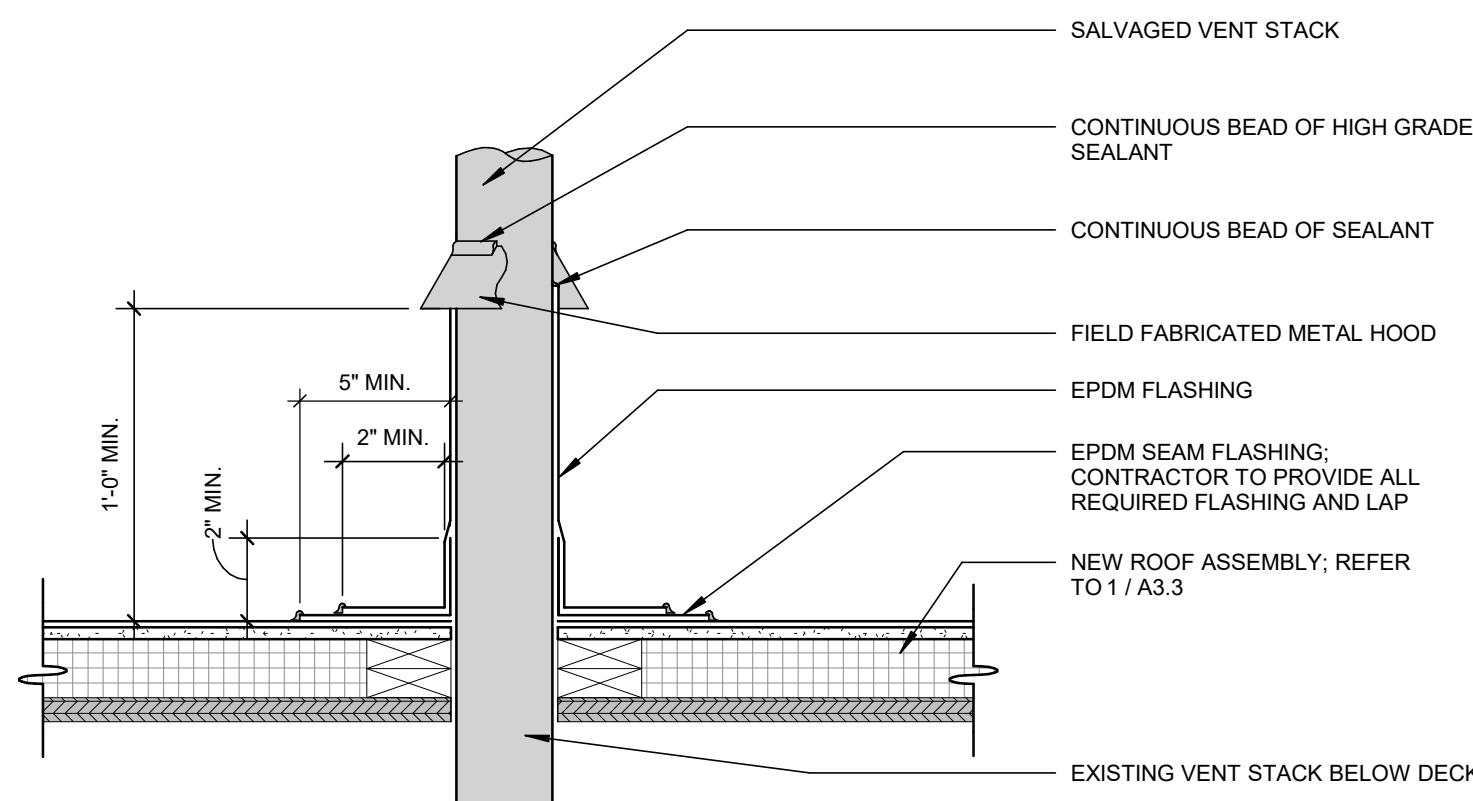


3 DETAIL @ ROOF DRAIN
1 1/2" = 1'-0"



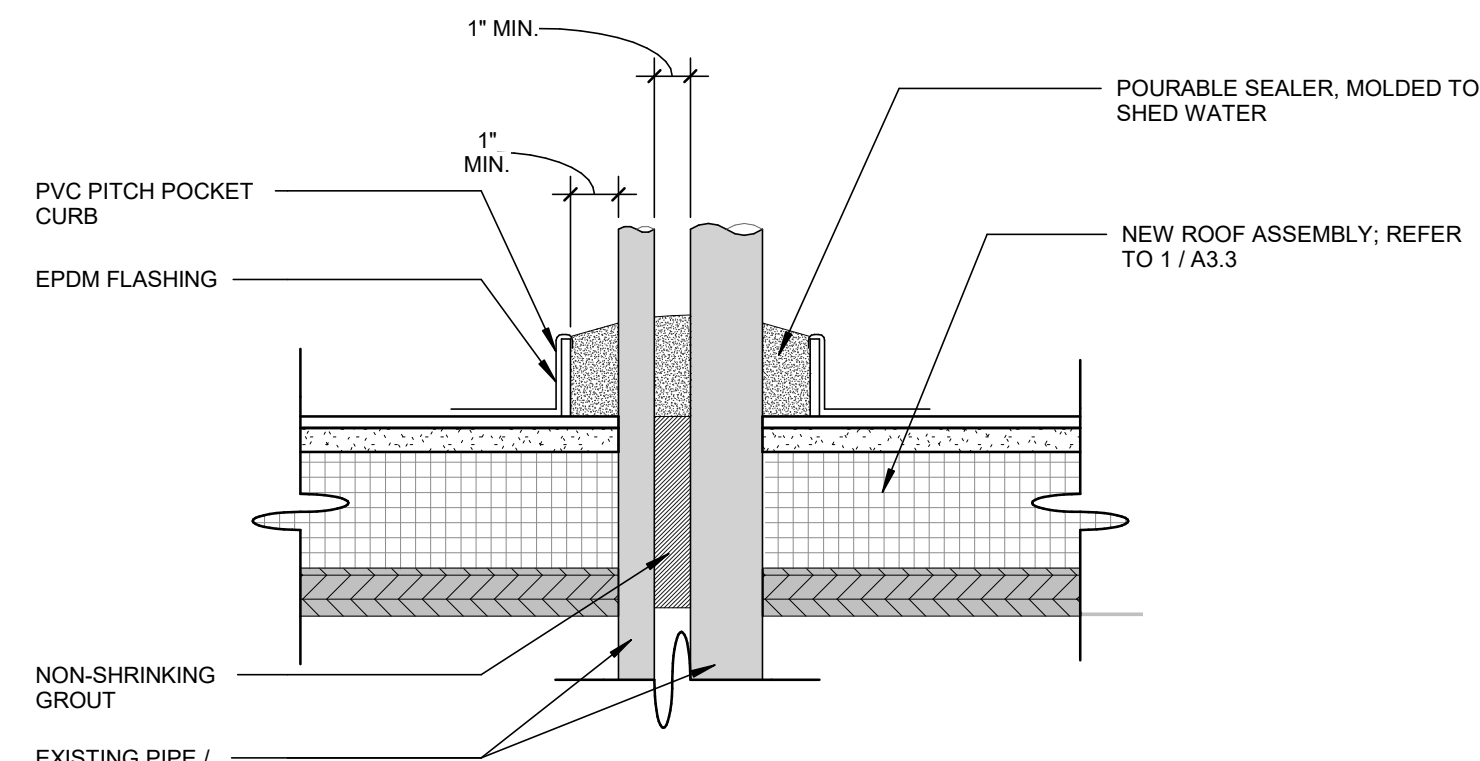
NOTES:
REFER TO ELEVATE DETAILS "BASE TIE-IN WITH QUICKSEAM RPF AND 2" METAL PLATES FASTENER TO WALL / CURB" AND "TERMINATION WITH REGLET COUNTER FLASHING AND TERMINATION BAR"

4 DETAIL @ WALL FLASHING (NEW)
1 1/2" = 1'-0"



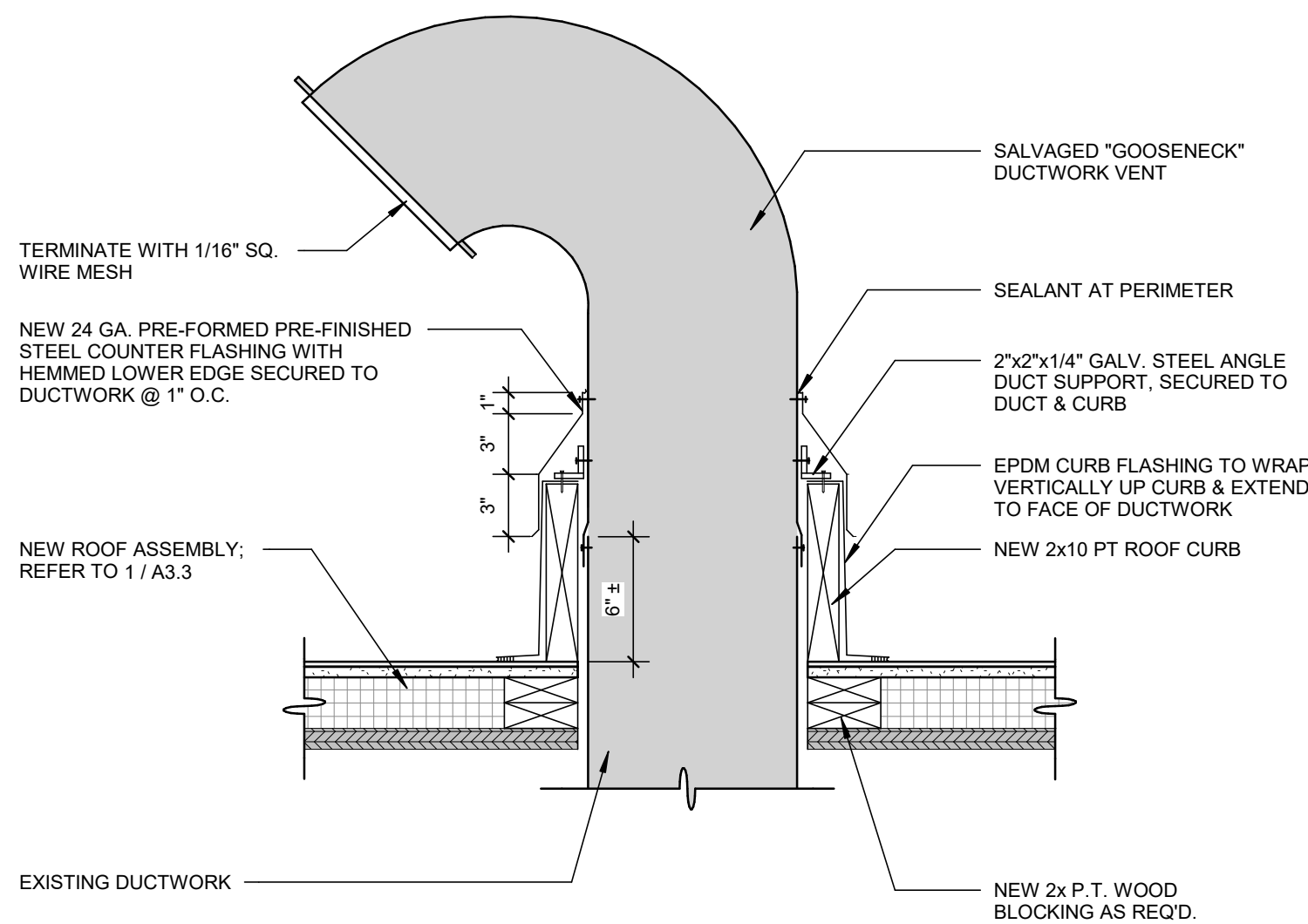
NOTES:
REFER TO ELEVATE DETAIL "PENETRATION WITH FIELD FABRICATED FABRICATED FLASHING"

5 DETAIL @ PIPE PENetration
1 1/2" = 1'-0"



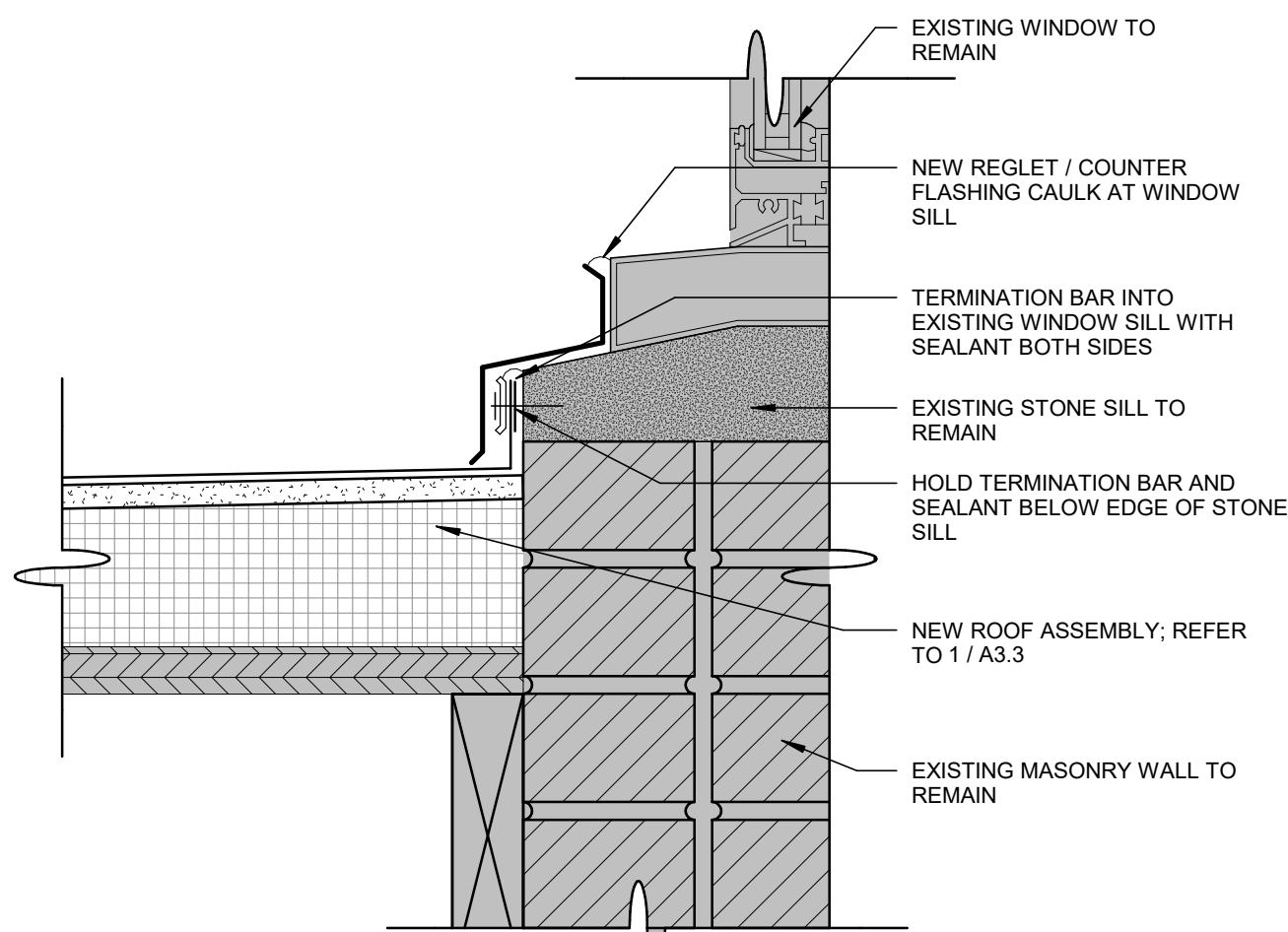
NOTES:
REFER TO ELEVATE DETAIL "PENETRATION WITH QSS PENETRATION POCKET"

6 DETAIL @ PITCH POCKET
3" = 1'-0"



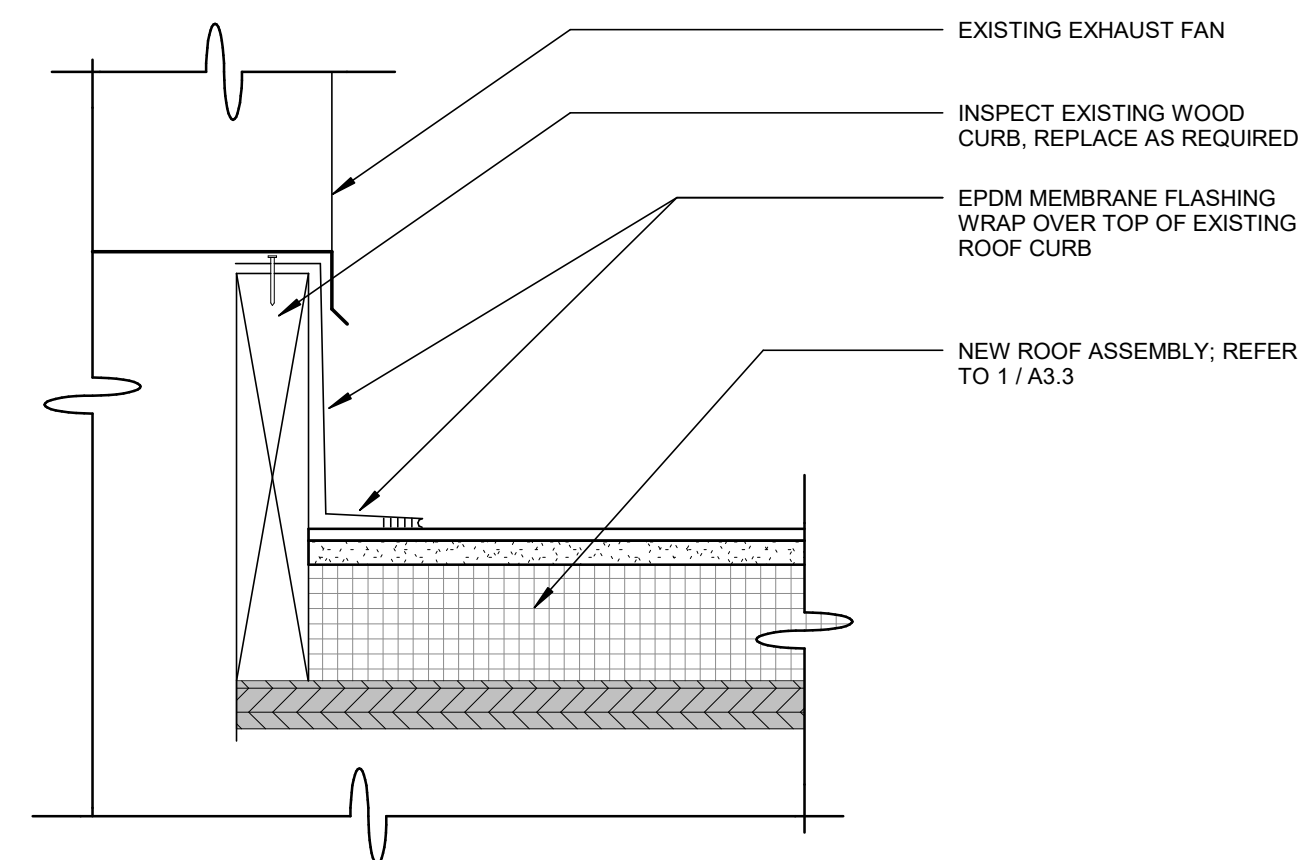
NOTES:
EXISTING EXHAUST FAN WILL NEED TO BE TEMPORARILY UNINSTALLED TO ALLOW FOR INSTALLATION OF NEW EPDM FLASHING. RE-INSTALL EXHAUST FAN AFTER FLASHING INSTALLATION. REFER TO ELEVATE DETAIL "OUTSIDE CORNER WITH QUICKSEAM CORNER FLASHING"

7 DETAIL @ GOOSE NECK DUCTWORK
1 1/2" = 1'-0"



NOTES:
REFER TO ELEVATE DETAILS "TERMINATION WITH TERMINATION BAR"

8 DETAIL @ WINDOW
3" = 1'-0"



NOTES:
EXISTING EXHAUST FAN WILL NEED TO BE TEMPORARILY UNINSTALLED TO ALLOW FOR INSTALLATION OF NEW EPDM FLASHING. RE-INSTALL EXHAUST FAN AFTER FLASHING INSTALLATION. REFER TO ELEVATE DETAIL "OUTSIDE CORNER WITH QUICKSEAM CORNER FLASHING"

9 DETAIL @ EXHAUST FAN CURB
3" = 1'-0"

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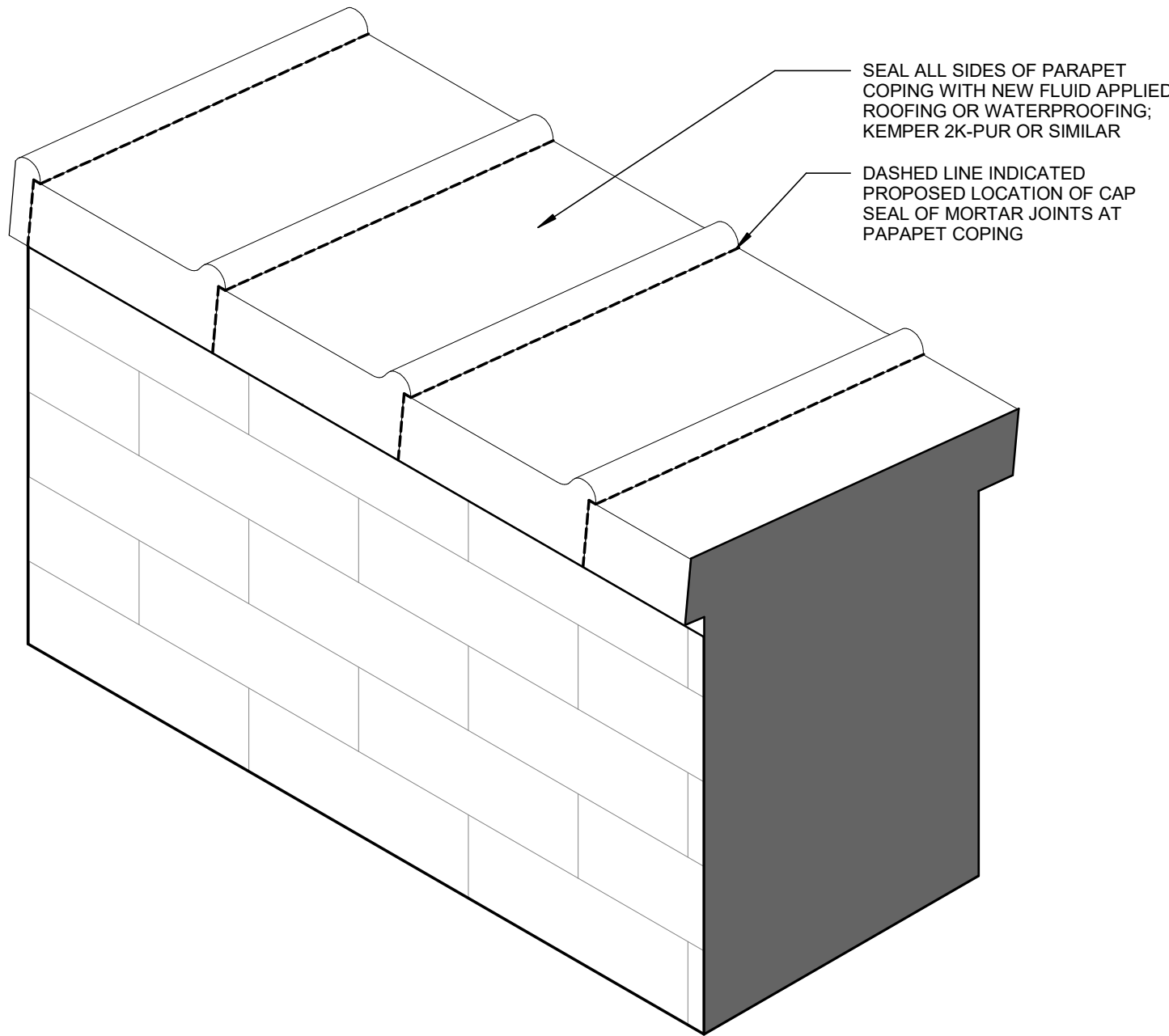
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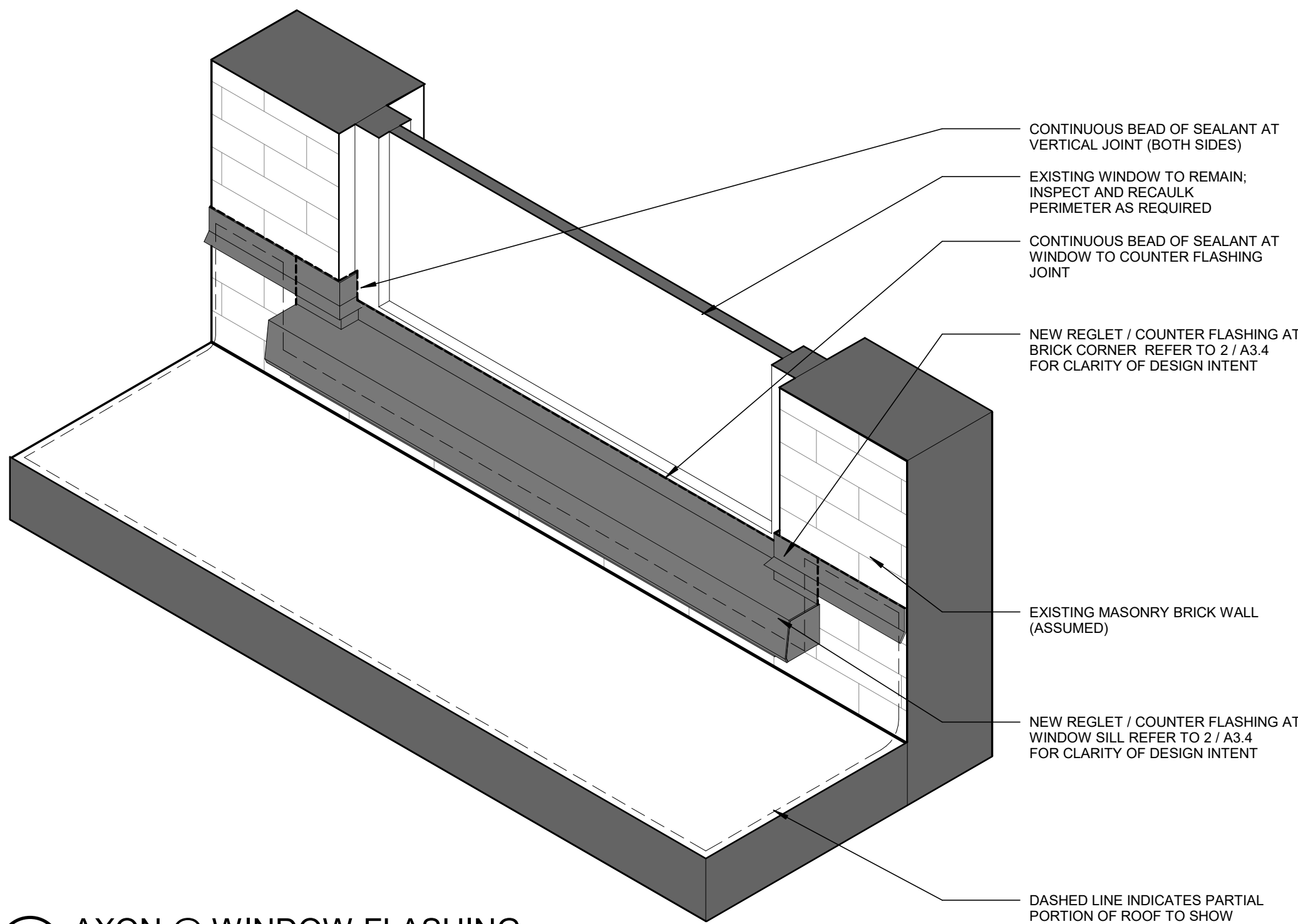
ARCHITECTURAL
ROOF DETAILS

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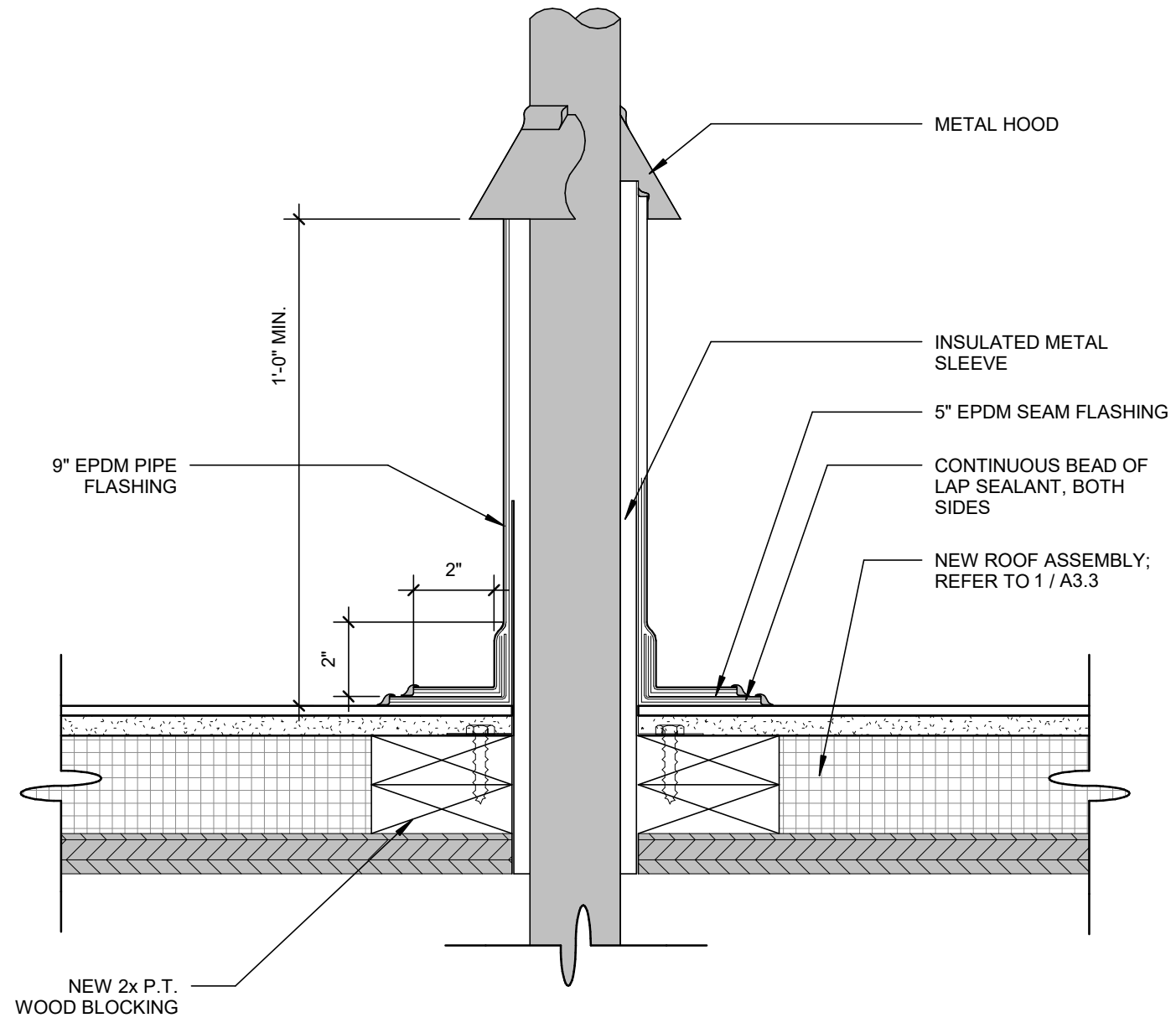
A3.3



1 AXON @ PARAPET COPING
1" = 1'-0"

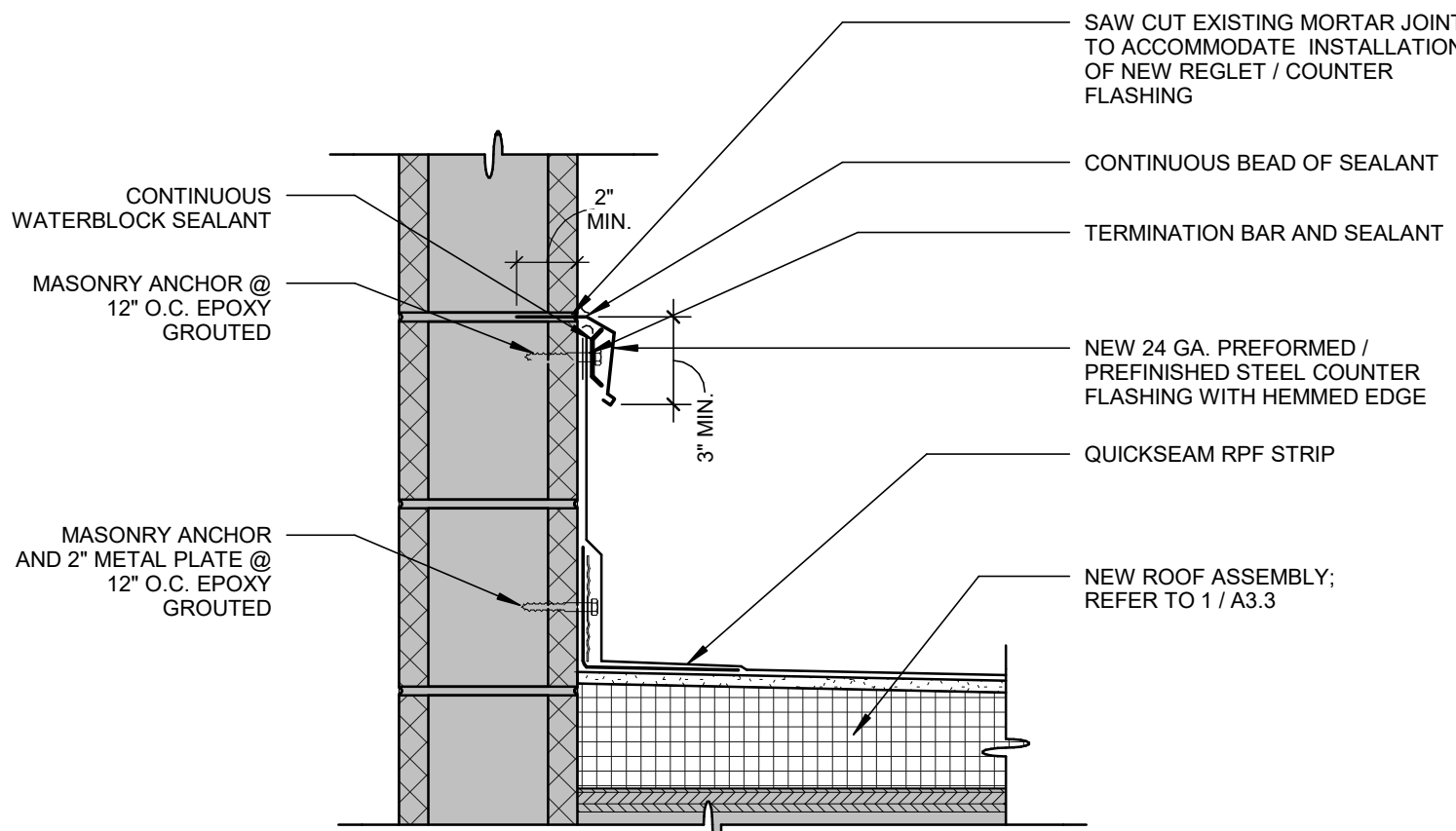


2 AXON @ WINDOW FLASHING



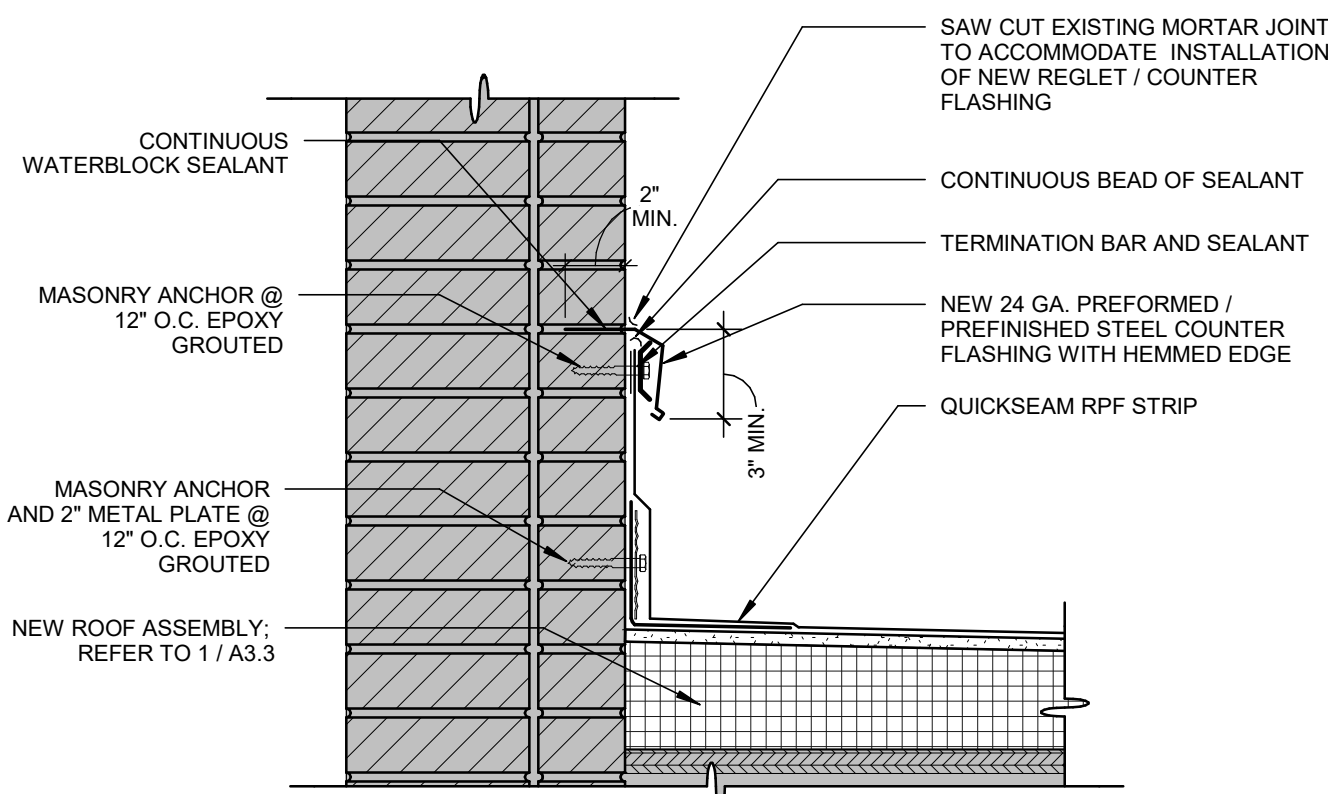
NOTES:
REFER TO ELEVATE DETAIL "PENETRATION (HOT STACK) WITH FABRICATED FLASHING"

3 DETAIL @ HOT STACK PENETRATION
3" = 1'-0"



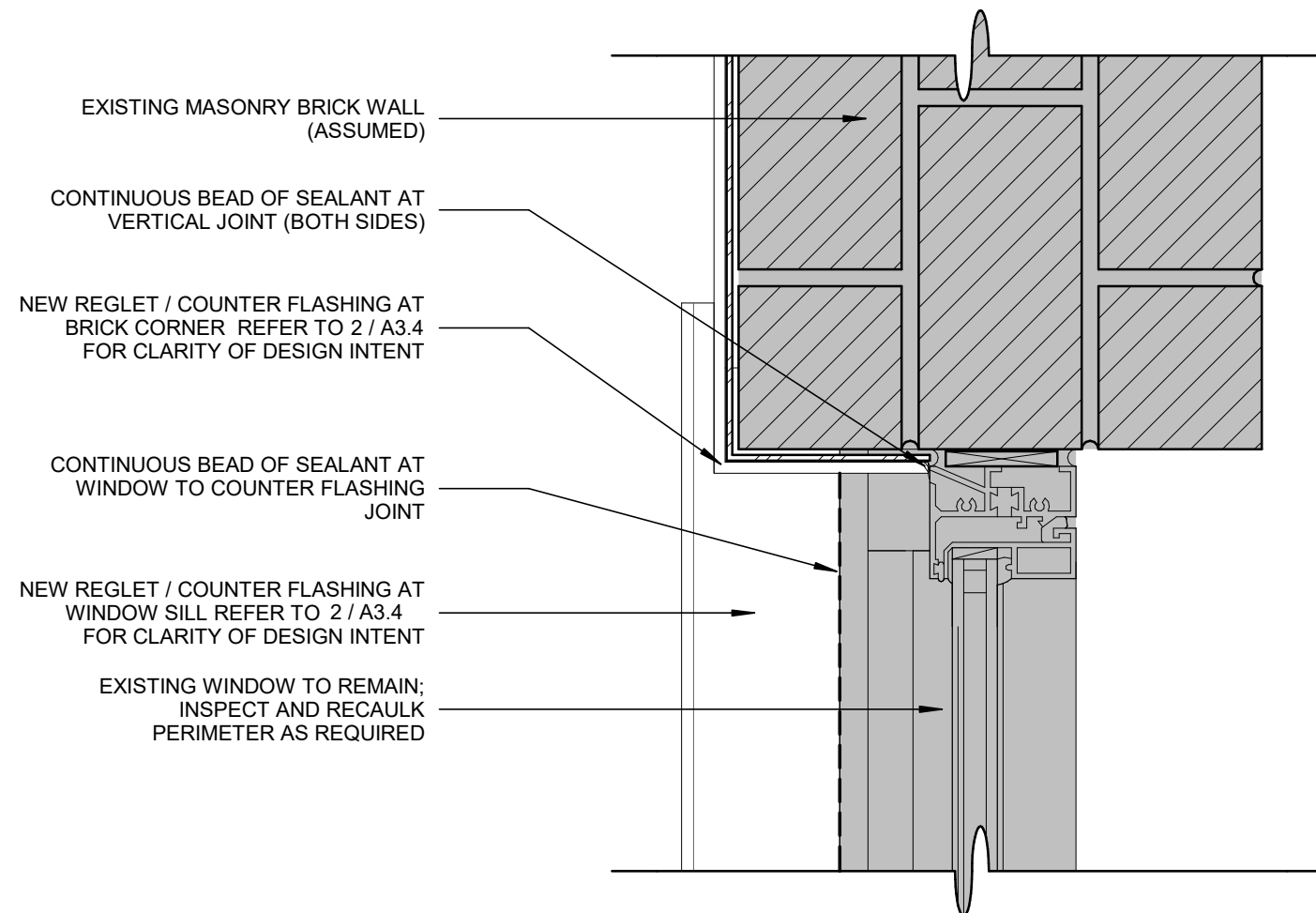
NOTES:
REFER TO ELEVATE DETAILS "BASE TIE-IN WITH QUICKSEAM RPF AND 2" METAL PLATES FASTENER TO WALL / CURB" AND "TERMINATION WITH REGLET COUNTER FLASHING AND TERMINATION BAR"

4 DETAIL @ WALL FLASHING (CMU)
1 1/2" = 1'-0"



NOTES:
REFER TO ELEVATE DETAILS "BASE TIE-IN WITH QUICKSEAM RPF AND 2" METAL PLATES FASTENER TO WALL / CURB" AND "TERMINATION WITH REGLET COUNTER FLASHING AND TERMINATION BAR"

5 DETAIL @ WALL FLASHING (BRICK)
1 1/2" = 1'-0"



6 JAMB DETAIL @ EXISTING WINDOWS
3" = 1'-0"