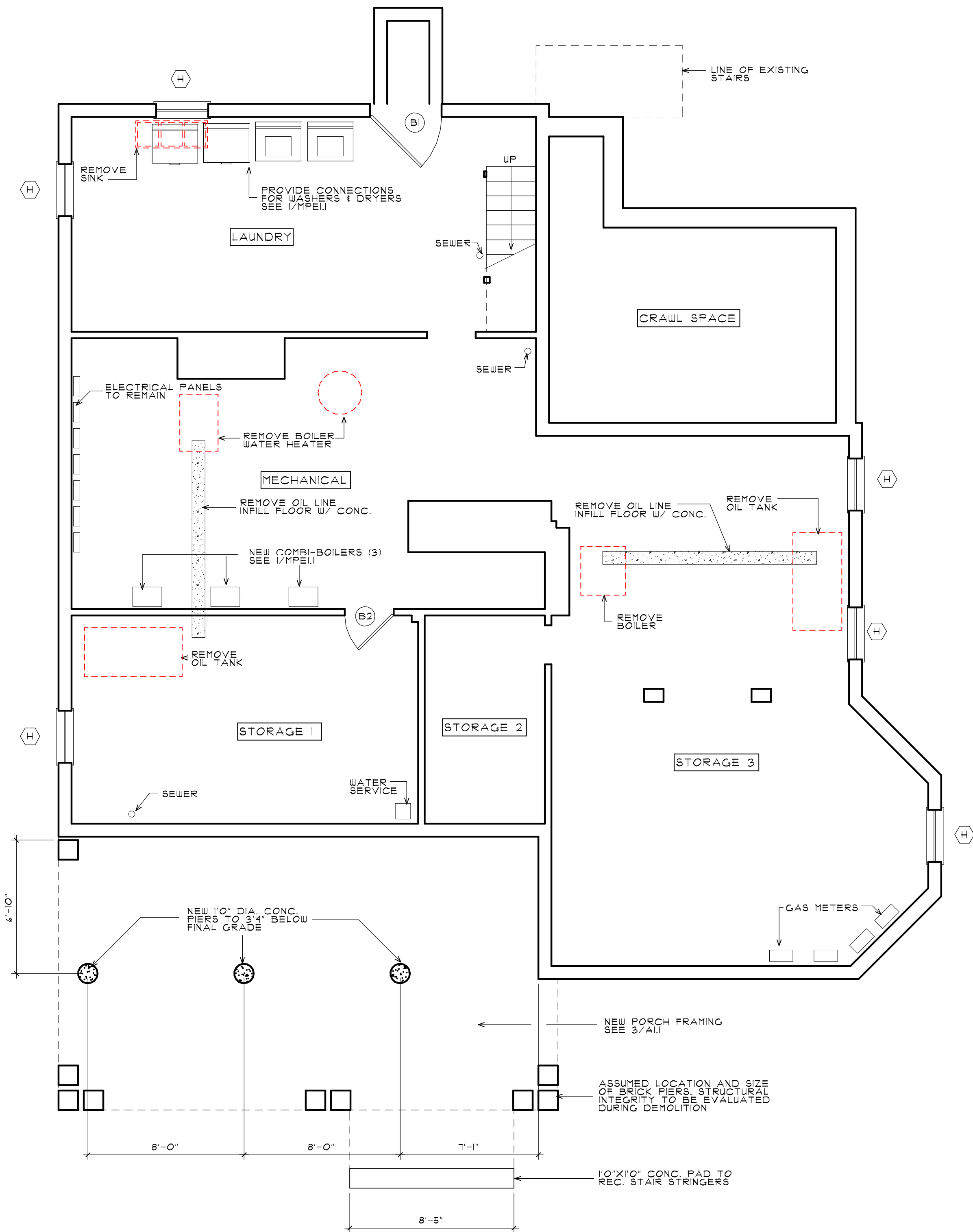
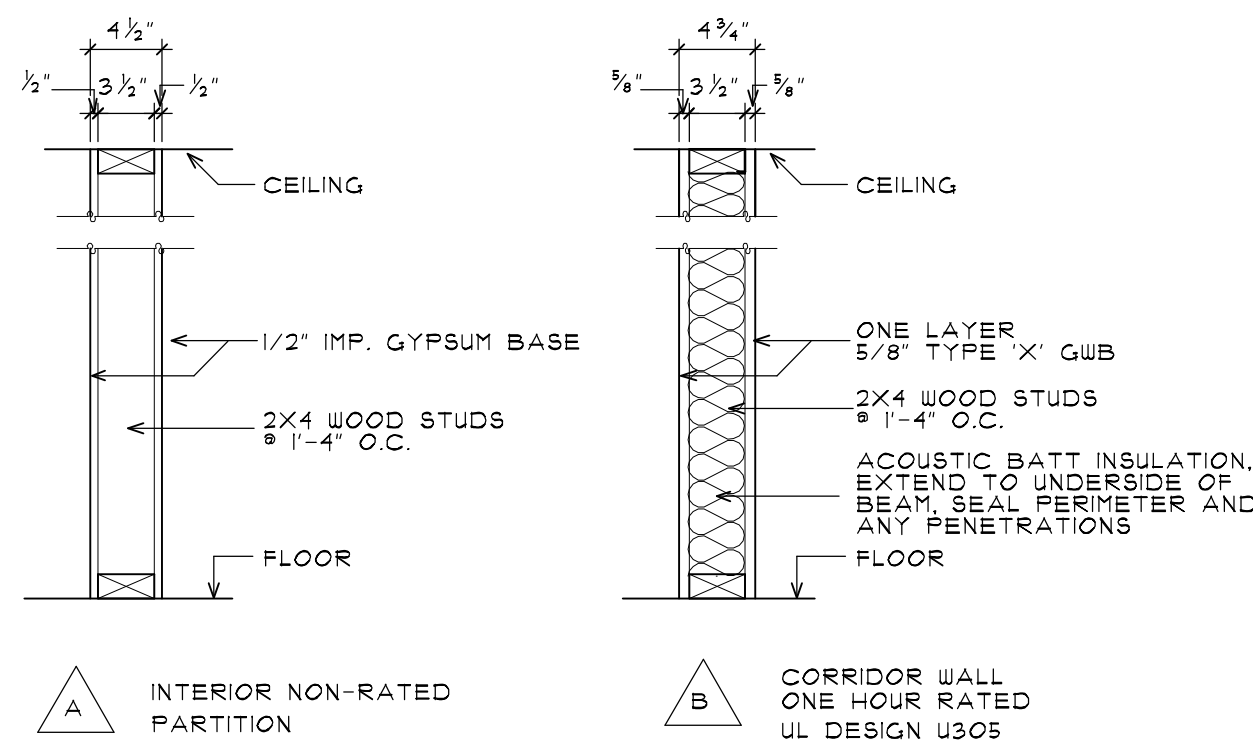


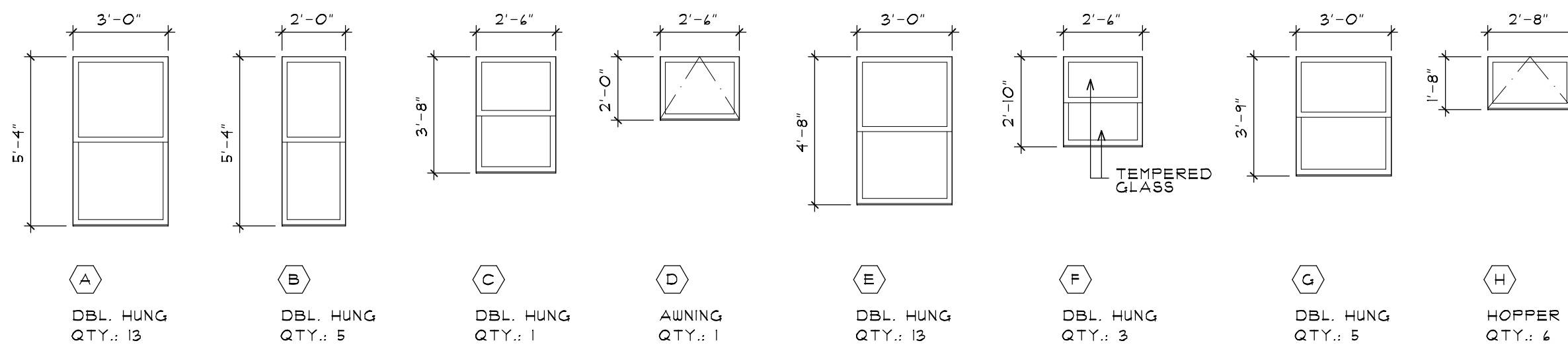
1 SITE PLAN
A1.0
1" = 10'-0"



2 BASEMENT PLAN
A1.0
1/4" = 1'-0"



3 WALL TYPES - INTERIOR
A1.0
1" = 1'-0"



4 WINDOW SCHEDULE
A1.0
1/4" = 1'-0"

GENERAL NOTES

1. ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND REGULATIONS IN EFFECT AT THE PROJECT SITE.
2. DO NOT SCALE DRAWINGS.
3. THE CONTRACTOR SHALL REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING.
4. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE AND MASONRY; CENTER OF FRAME PARTITIONS AND CENTER OF FRAME OPENINGS UNLESS NOTED OTHERWISE.
5. DIMENSIONS NOTED TO EXISTING PLANES SHALL REFER TO THE FINISHED SURFACE OF THE WALL, FLOOR OR CEILING PLANE.
6. ALL ITEMS OF WORK ARE TO BE NEW, UNLESS NOTED AS EXISTING.
7. CONTRACTOR SHALL VERIFY ALL DOOR & WINDOW DIMENSIONS IN FIELD BEFORE PURCHASE.

LEGEND

	CONCRETE	ADJ.	ADJACENT
	CONCRETE MASONRY UNIT	A.F.F.	ABOVE FINISHED FLOOR
	FACE BRICK	ALUM.	ALUMINUM
	STONE VENEER	ARCH.	ARCHITECT
	EXISTING PARTITION	AT	AT
	PARTITION REMOVED	B.O.F.	BOTTOM OF FOOTING
	NEW FRAME PARTITION	BLKG.	BLOCKING
	PROPERTY LINE	CL.	CENTERLINE
	SETBACK LINE	C.L.L.	CONTRACT LIMIT LINE
	CENTERLINE	COL.	COLUMN
	ABOVE	CONC.	CONCRETE
	HIDDEN	CONT.	CONTINUOUS
	CONTOUR - EXISTING	COORD.	COORDINATE
	CONTOUR - NEW	DIA.	DIAMETER
	WATER LINE	DN	DOWN
	ELECTRIC LINE	DN	DOWNSPOUT
	GAS LINE	EQ	EQUAL
	SEWER LINE	FIN. FLR.	FINISH FLOOR
	WINDOW SYMBOL	FLR.	FLOOR
	DOOR SYMBOL	FND.	FOUNDATION
	WALL TYPE	GWB.	GYPSEUM WALLBOARD
	REVISION #1	HM	HOLLOW METAL
	ELEVATION DATUM	HT.	HEIGHT
	ELEVATION KEY	INT.	INTERIOR
	SECTION KEY	INSUL.	INSULATION
	DETAIL KEY	L.C.C.	LEAD COATED COPPER
	ROOM NAME	ML	MILLIMETER
	SMOKE DETECTOR	MTL.	METAL
	CO DETECTOR	M.O.	MASONRY OPENING
		N.I.C.	NOT IN CONTRACT
		N.T.S.	NOT TO SCALE
		O.C.	ON CENTER
		OPP.	OPPOSITE HAND
		PL.	PLATE
		P.T.	PRESSURE TREATED
		PTD.	PAINTED
		PLY.	PLYWOOD
		REQ'D	REQUIRED
		RISER	RISER
		R.O.	ROUGH OPENING
		SH.	SIMILAR
		STL.	STEEL
		T.	TREAD
		T.O.P.	TOP OF
		T.O.F.	TOP OF FOOTING
		T.O.S.	TOP OF SHELF
		T.O.W.	TOP OF WALL
		T.S.	TUBE STEEL
		TYP.	TYPICAL
		UN.O.	UNLESS NOTED OTHERWISE
		VCT	VINYL COMPOSITION TILE
		V.I.F.	VERIFY IN FIELD
		W.	WITH
		W.D.	WOOD
		WSU.	WATERPROOF SHINGLE UNDERLAYMENT

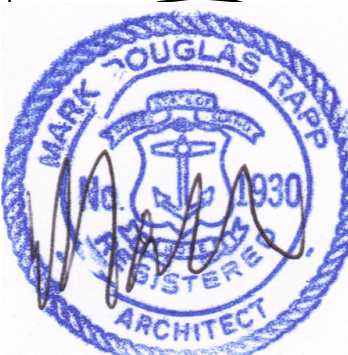
RENOVATIONS TO EXISTING
MULTI-FAMILY BUILDING
FELLOWSHIP HEALTH
RESOURCES, INC.
1739 BROAD STREET, CRANSTON, RHODE ISLAND 02920

ACME
ARCHITECT
L.L.C.

9 SIMMONS ROAD
LITTLE COMPTON
RHODE ISLAND 02837

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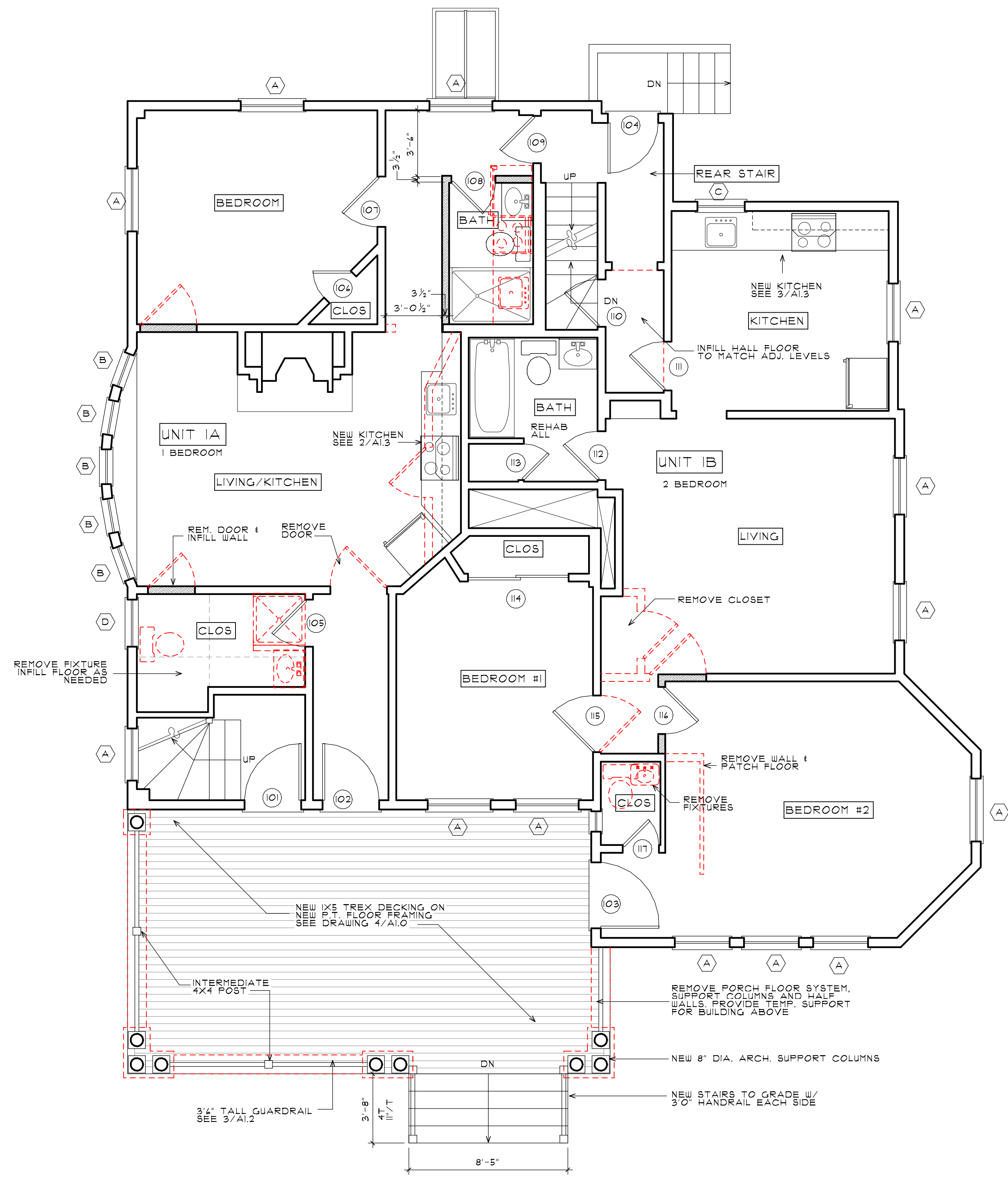
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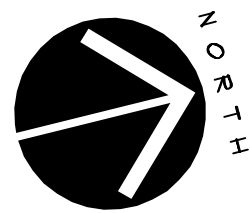
SITE PLAN, BASEMENT PLAN
LEGENDS
DATE: 7/1/22
SCALE: AS NOTED
REVISIONS:

SHEET

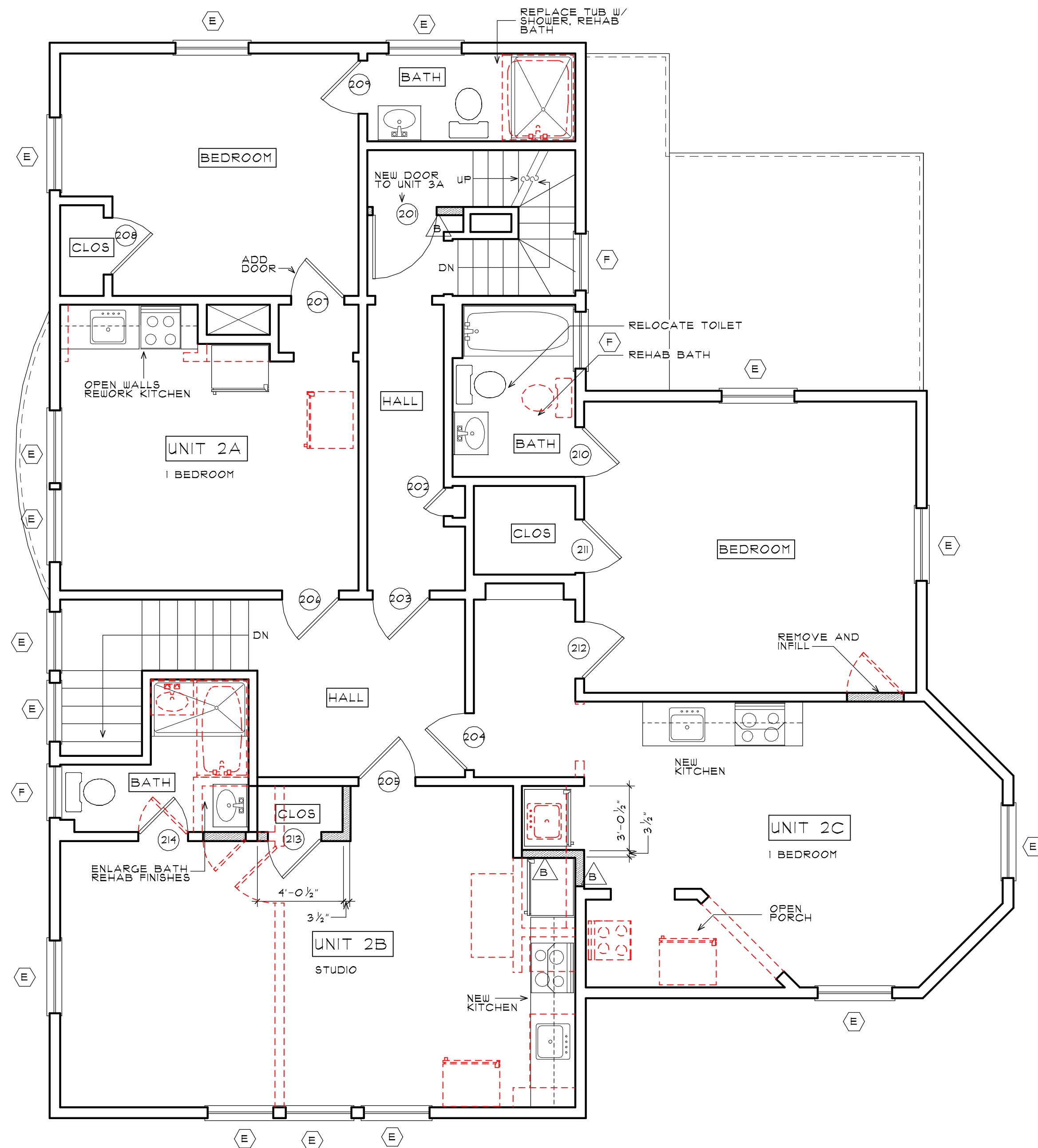
A1.0



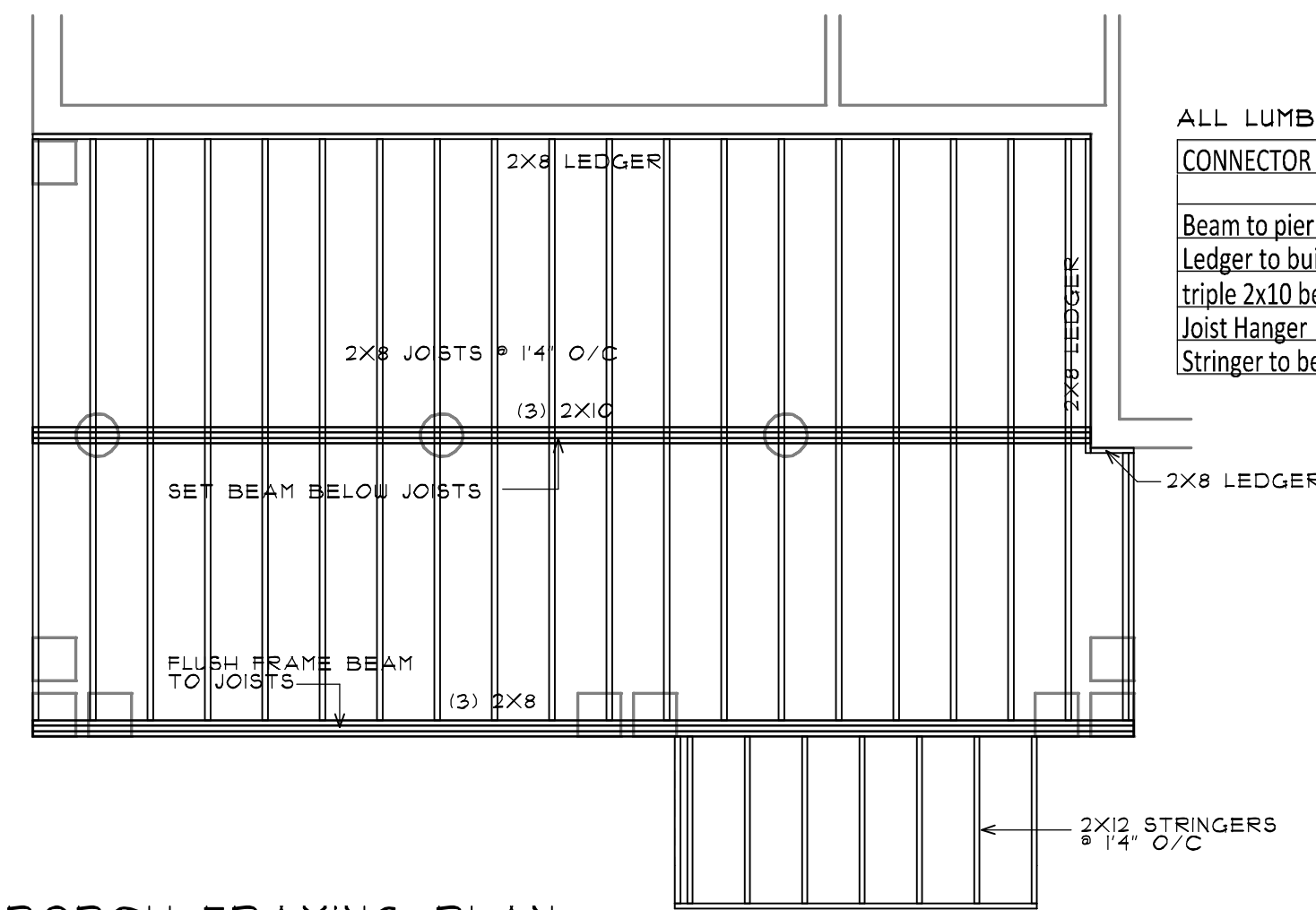
1 FIRST FLOOR PLAN
A1.1 1/4" = 1'-0"



NOTES:
1. ALL NEW PARTITIONS ARE TYPE "A" UNLESS NOTED OTHERWISE



2 SECOND FLOOR PLAN
A1.1 1/4" = 1'-0"



3 PORCH FRAMING PLAN
A1.1 1/4" = 1'-0"

ALL LUMBER TO BE PRESSURE TREATED

CONNECTOR SCHEDULE	All connectors are Simpson Strong-Tie
Beam to pier	PBS66HDG
Ledger to building	TimberLok FMTLOK06 screws @ 14" o/c
Triple 2x10 beam hanger	LUS210-3
Joist Hanger	LUS282
Stringer to beam	LSC2

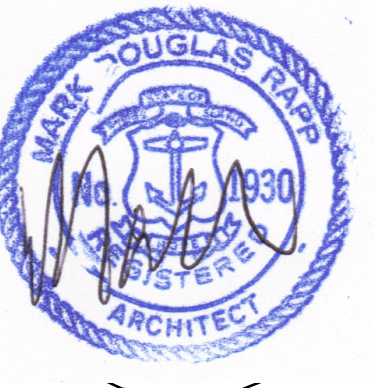
PERMIT SET

FIRST AND SECOND FLOOR PLANS

RENOVATIONS TO EXISTING MULTI-FAMILY BUILDING
FELLOWSHIP HEALTH RESOURCES, INC.

ACME ARCHITECT L.L.C.

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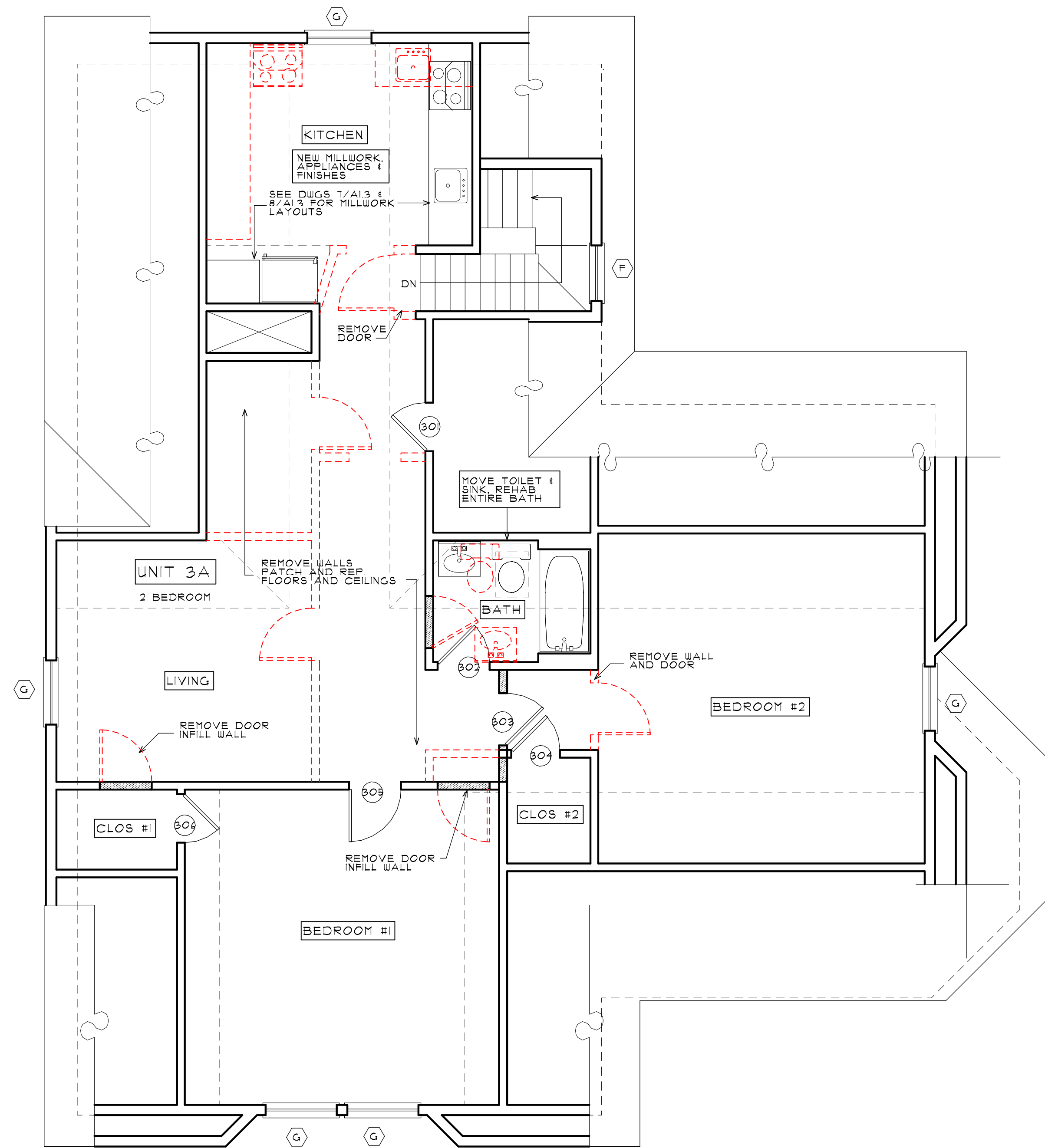


SHEET

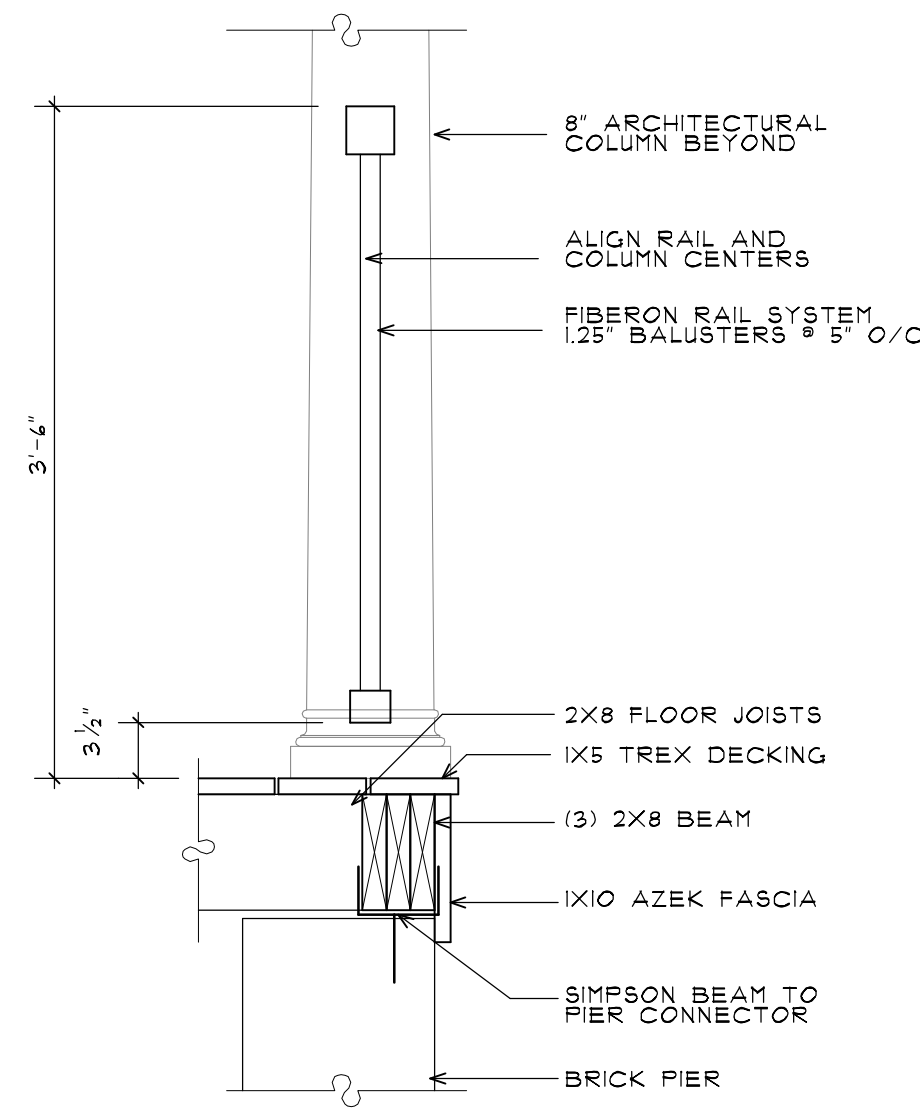
A1.1

DATE: 1/1/22
SCALE: 1/4" = 1'-0"

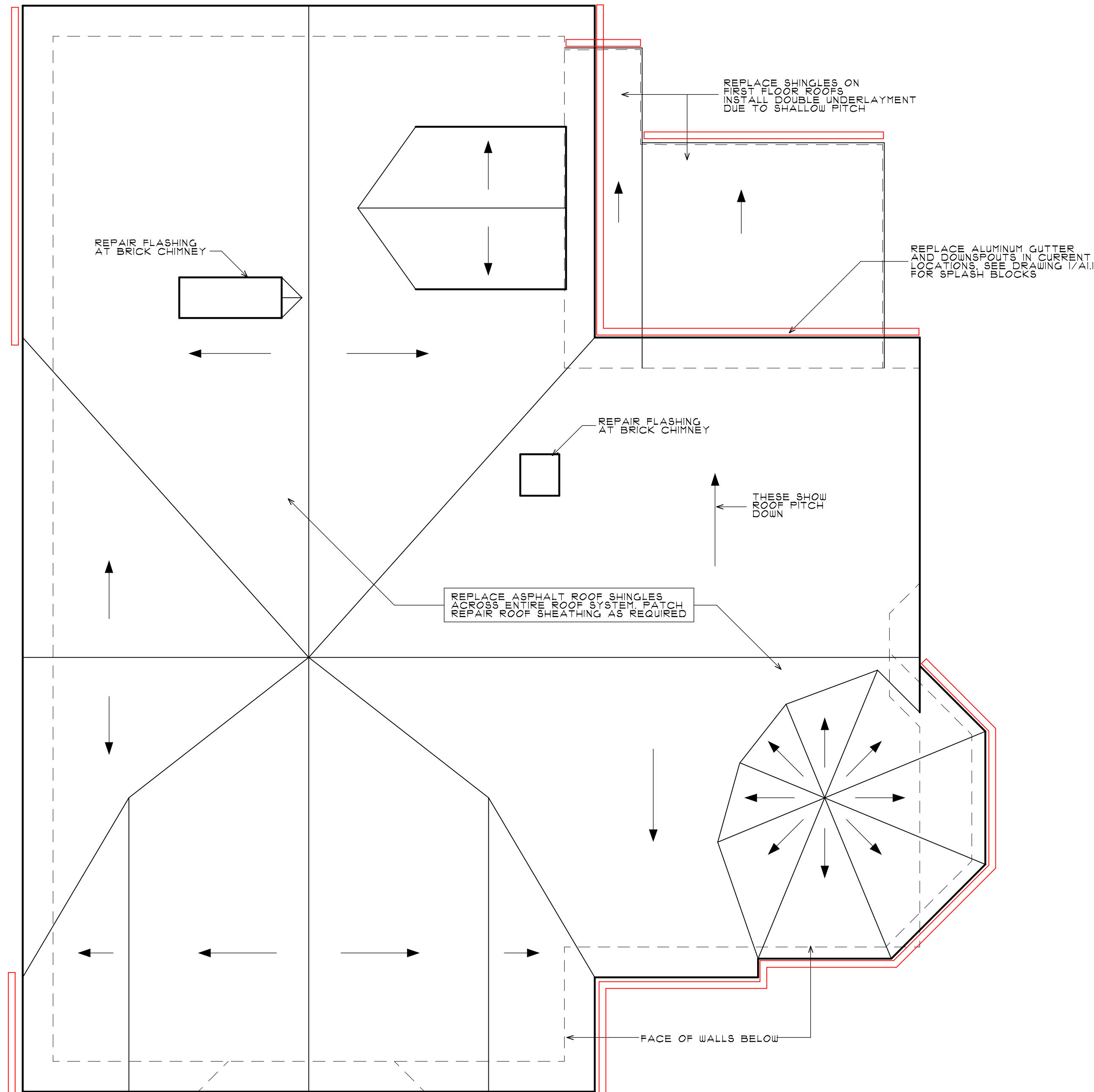
REVISIONS:



1 THIRD FLOOR PLAN
A1.2 1/4" = 1'-0"



3 RAIL DETAIL
A1.2 1" = 1'-0"



2 ROOF PLAN
A1.2 1/4" = 1'-0"

PERMIT SET

THIRD FLOOR & ROOF
PLANS

SHEET

A1.2

21-19

RENOVATIONS TO EXISTING
MULTI-FAMILY BUILDING
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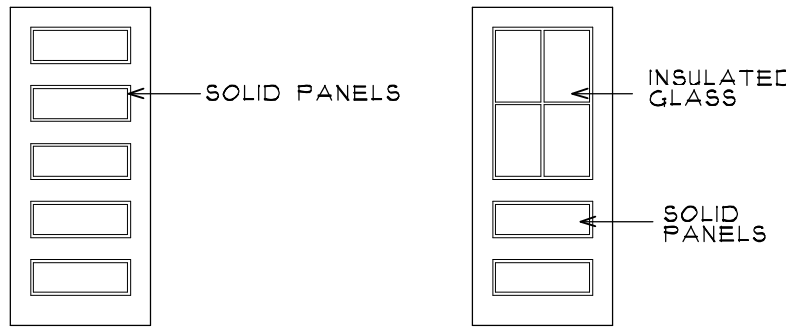


REVISIONS:

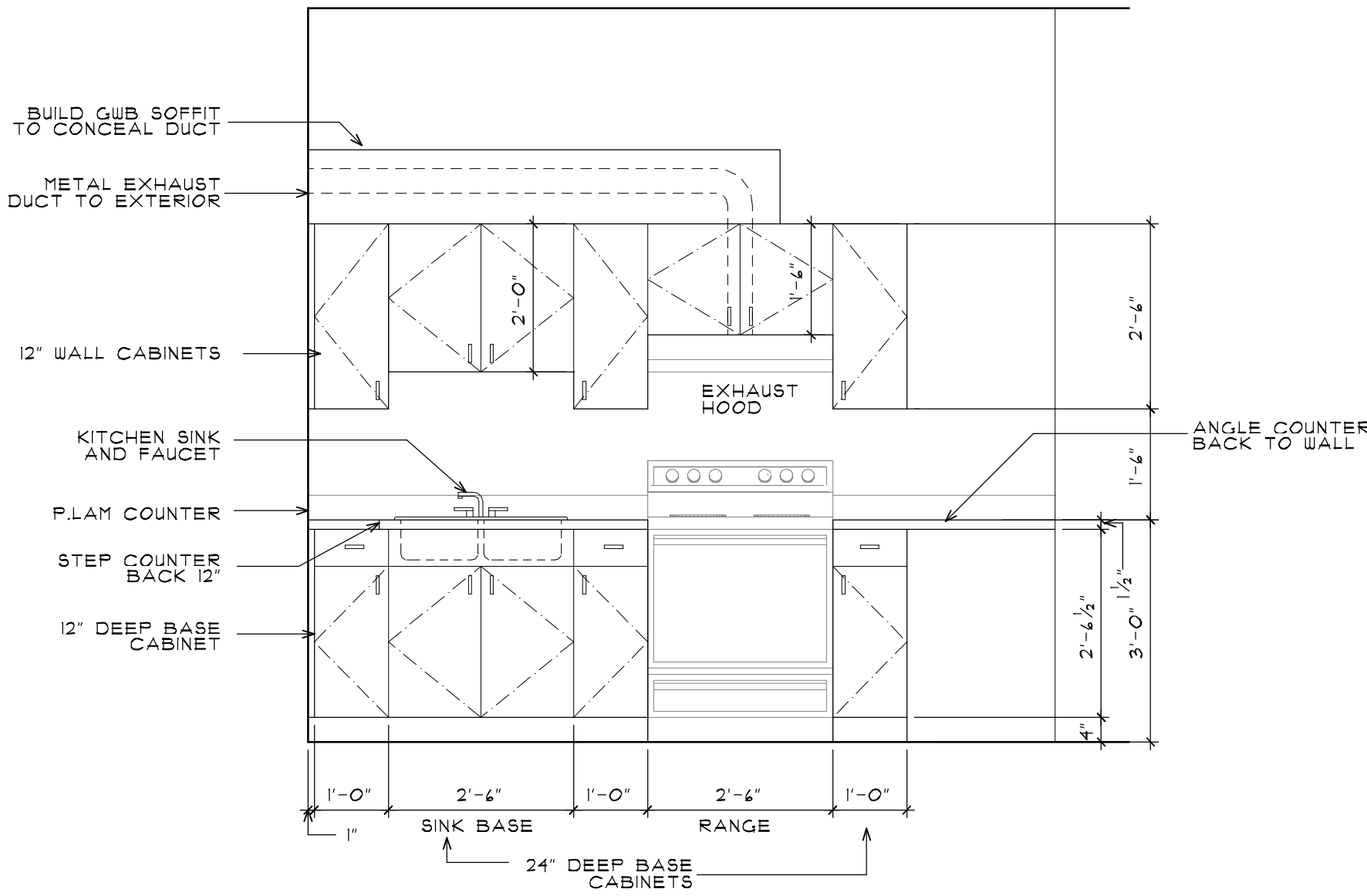
DATE: 1/1/22
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

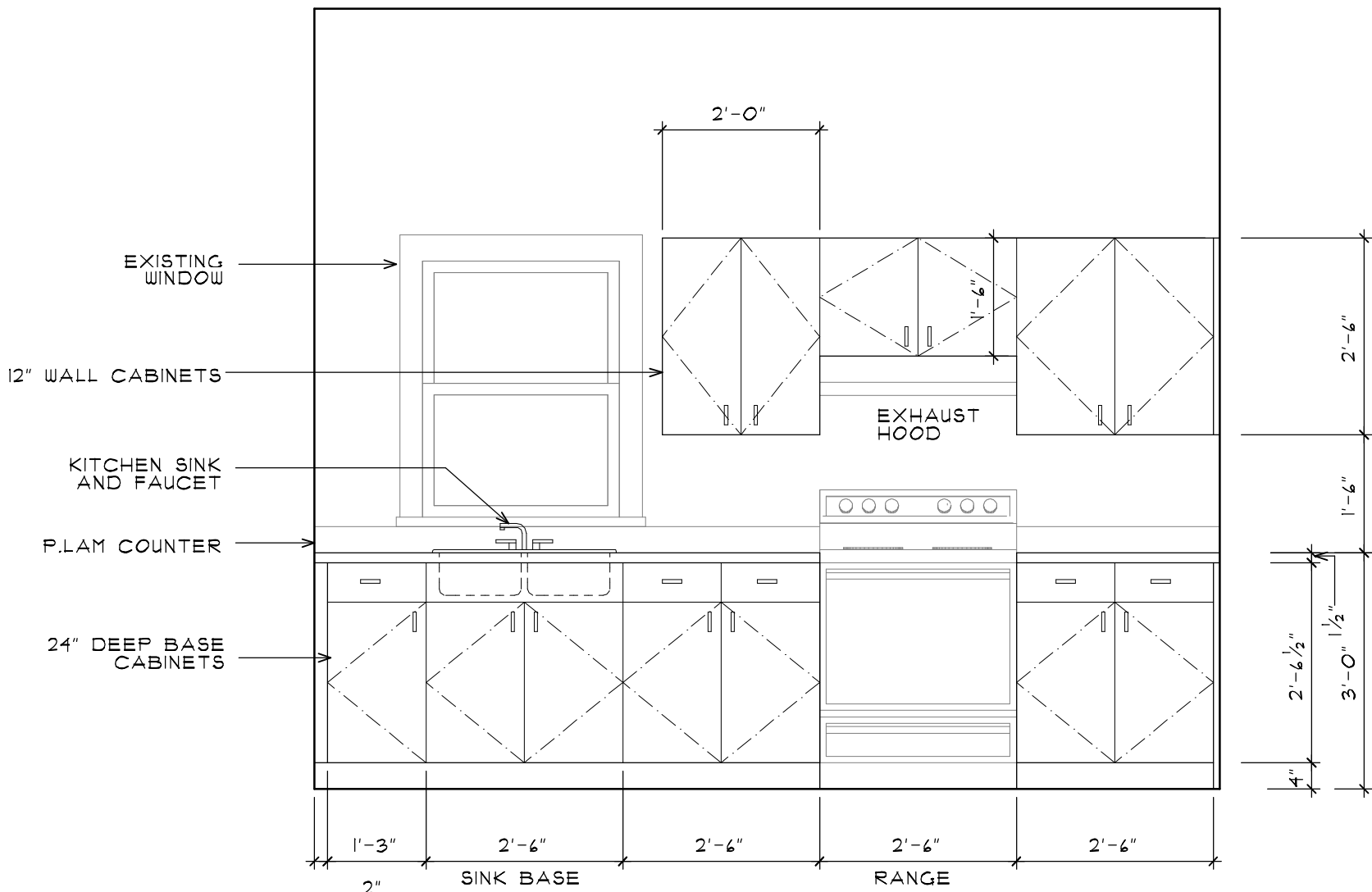
NO.	DOOR SIZE	THK	TYPE	MAT	FRAME TYPE	MAT	THR	HDWR	REMARKS
BASEMENT									
B1	Existing				Existing				
B2	Existing				Existing				
FIRST FLOOR									
101	3'0" X 7'0"	1-3/4"	B	FBGLS		WD	ALUM	4	
102	3'0" X 7'0"	1-3/4"	B	FBGLS		WD	ALUM	4	
103	3'0" X 7'0"	1-3/4"	A	FBGLS		WD	ALUM	4	
104	Existing				Existing				
105	Existing				Existing				
106	Existing				Existing				
107	Existing				Existing				
108	2'4" x 6'8"	1-3/4"	A	SC/WD		WD		2	
109	Existing				Existing				
110	Existing				Existing				
111	Existing				Existing				
112	Existing				Existing				
113	Existing				Existing				
114	Existing				Existing				2
115	Existing				Existing				
116	2'6" x 6'8"	1-3/4"	A	SC/WD		WD		2	
117	Existing				Existing				
SECOND FLOOR									
201	3'0" X 6'8"	1-3/4"	A	SC/WD		WD		1	1
202	Existing				Existing				
203	Existing				Existing				
204	Existing				Existing				
205	Existing				Existing				
206	Existing				Existing				
207	2'6" x 6'8"	1-3/4"	A	SC/WD		WD		2	
208	Existing				Existing				
209	Existing				Existing				
210	Existing				Existing				
211	Existing				Existing				
212	Existing				Existing				
213	2'6" x 6'8"	1-3/4"	A	SC/WD		WD		3	
214	2'4" x 6'8"	1-3/4"	A	SC/WD		WD		2	
THIRD FLOOR									
301	Existing				Existing				
302	2'6" x 6'8"	1-3/4"	A	SC/WD		WD		2	
303	2'6" x 6'8"	1-3/4"	A	SC/WD		WD		2	
304	Existing				Existing				
305	Existing				Existing				
306	Existing				Existing				
N/A - Not Applicable		EX - Existing			WD - Wood		SC - Solid Core		
HC - Hollow Core		ALUM - Aluminum			MTL - Metal		MBL - Marble		
FBGLS - Fiberglass, Insulated									
HARDWARE					REMARKS				
#1 - 1-1/2 pr. hinges, lockset, deadbolt									
#2 - 1-1/2 pr. Hinges, privacy lock, wall stop									
#3 - 1-1/2 pr. Hinges, passage set wall stop									
#4 - 1-1/2 pr. hinges, closer, entry set, weathstripping									
REMARKS									
#1 - 60 Minute fire rated									
#2 - Reverse door swing									



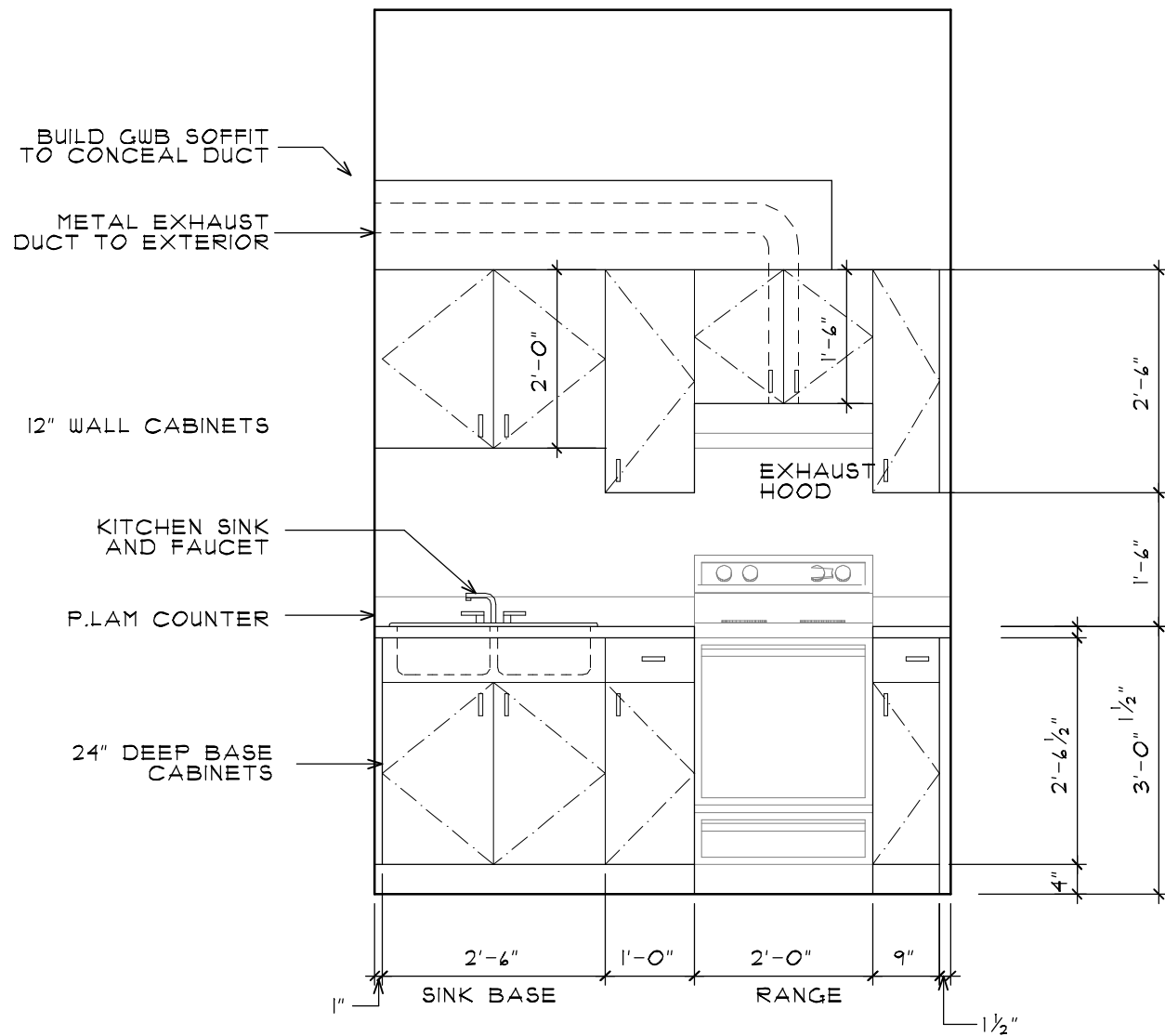
DOOR TYPES
1/4" = 1'-0"



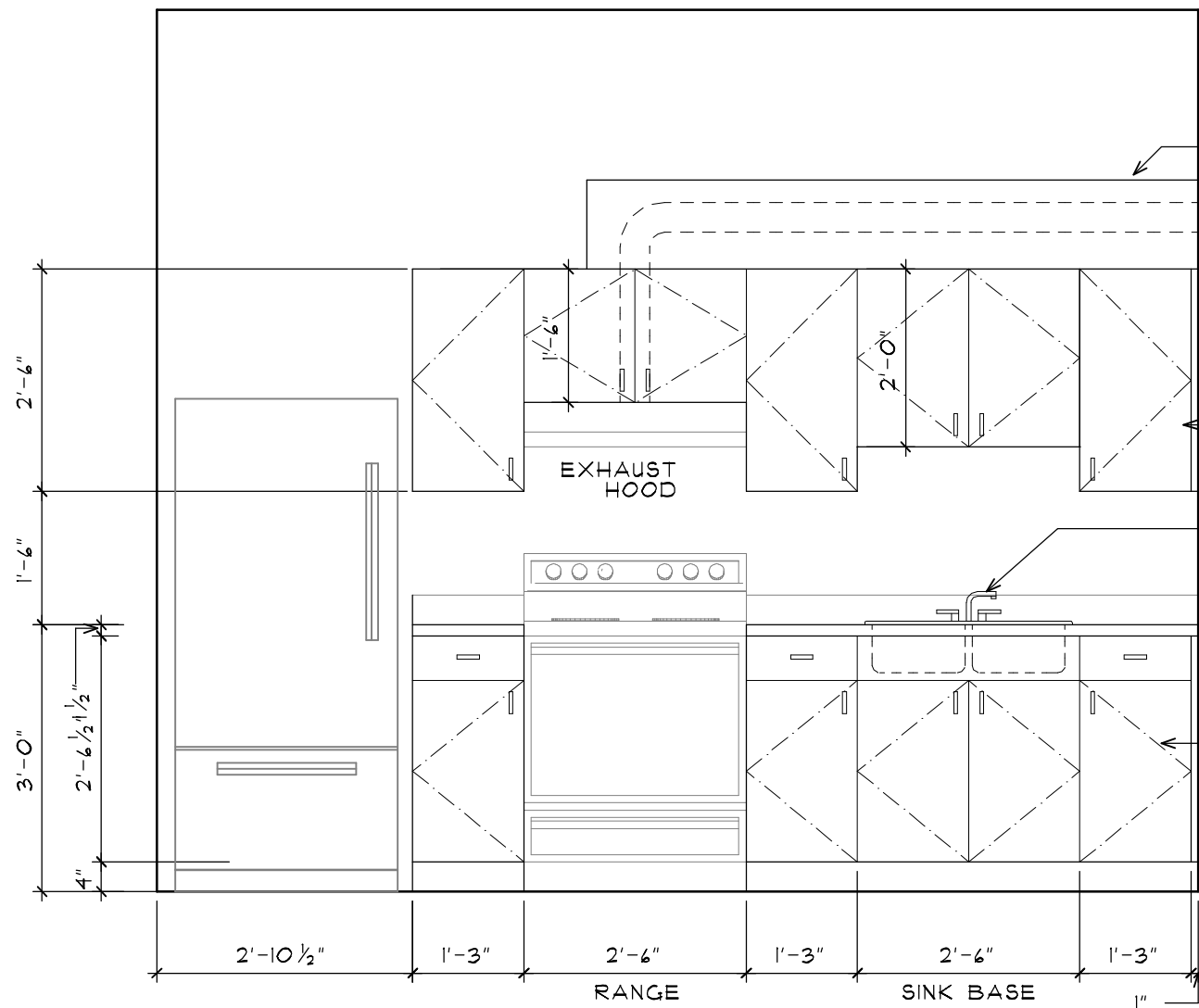
APT. #1A
KITCHEN ELEVATION
1/2" = 1'-0"



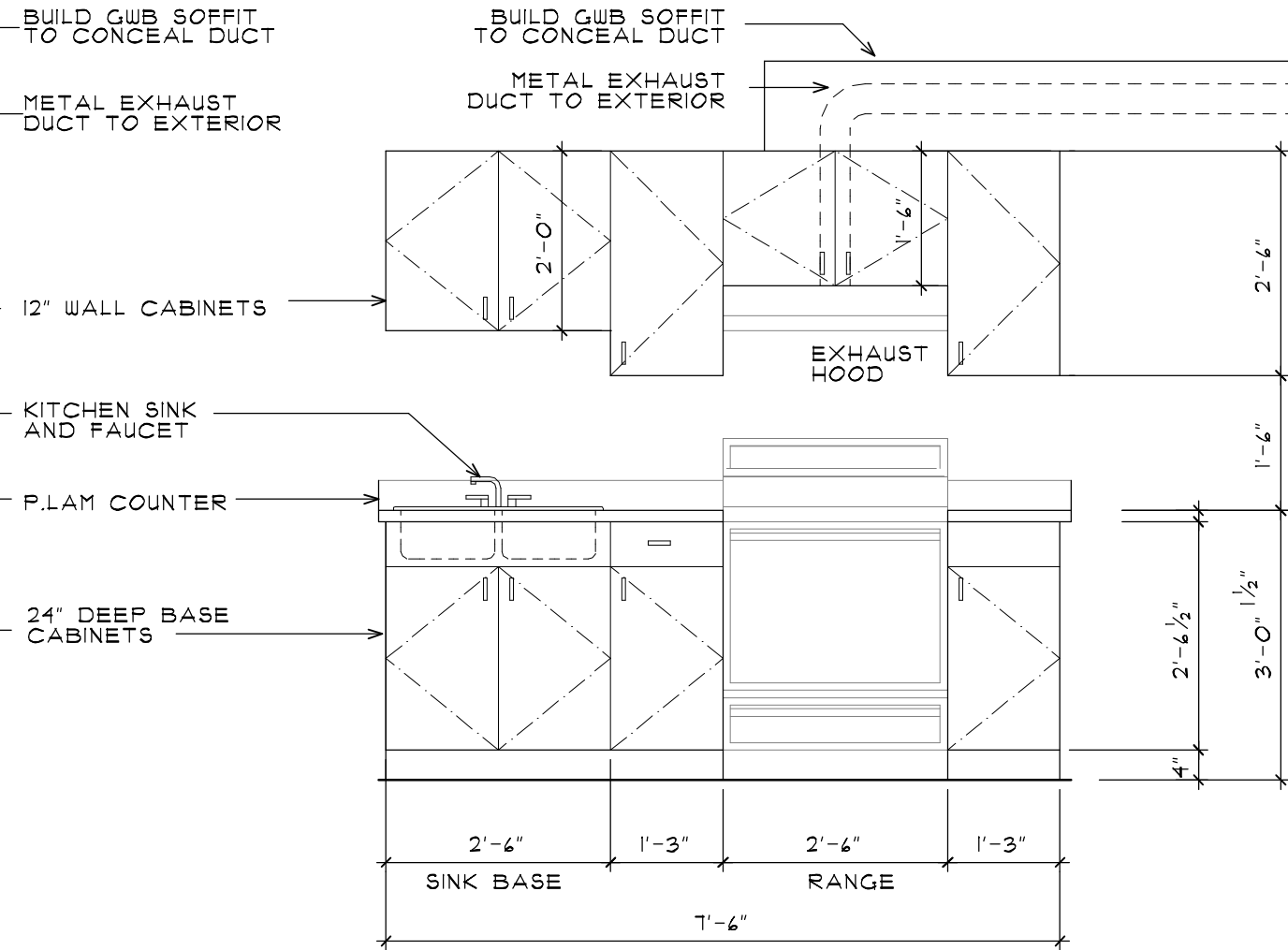
APT. #1B
KITCHEN ELEVATION
1/2" = 1'-0"



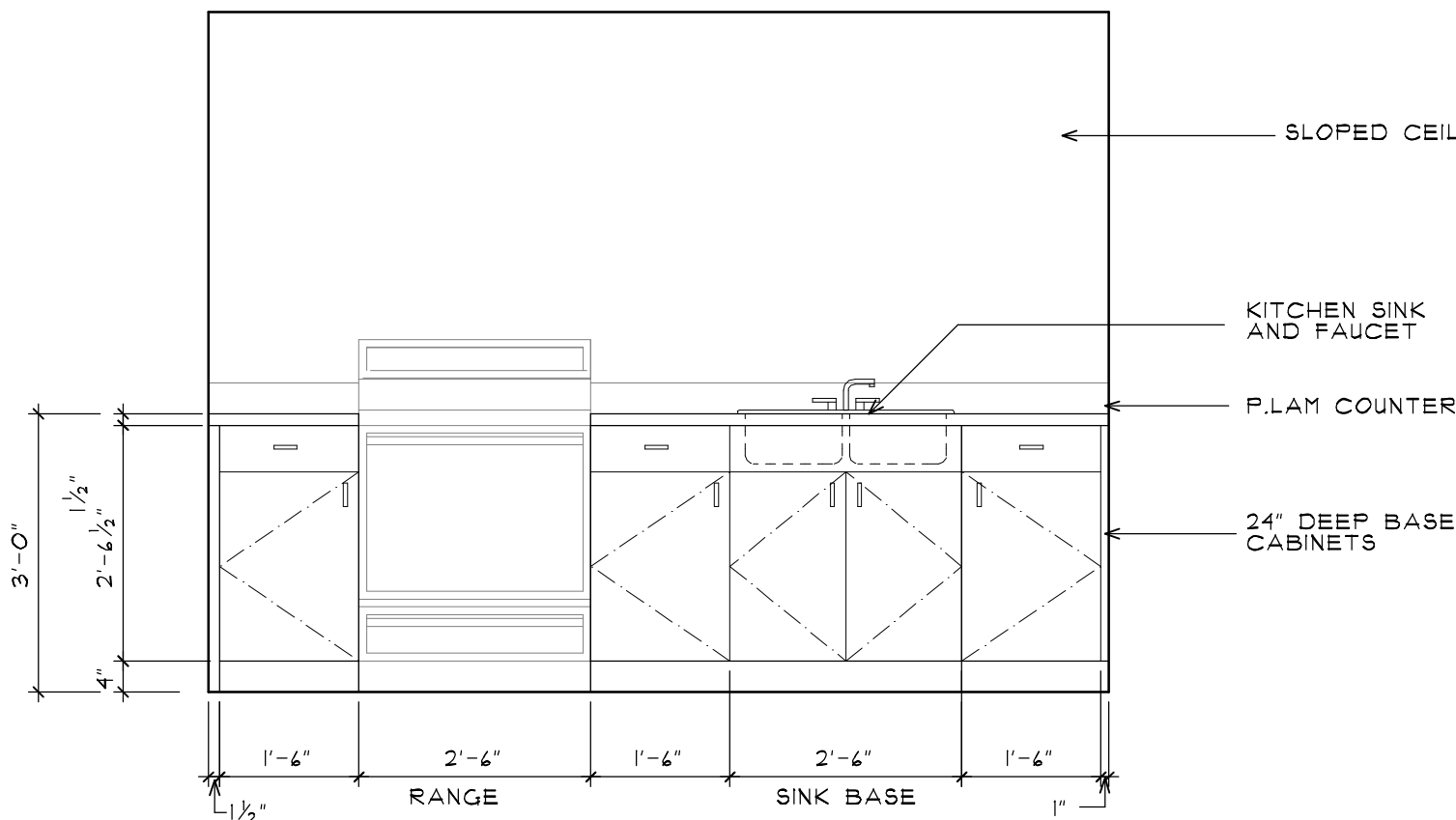
APT. #2A
KITCHEN ELEVATION
1/2" = 1'-0"



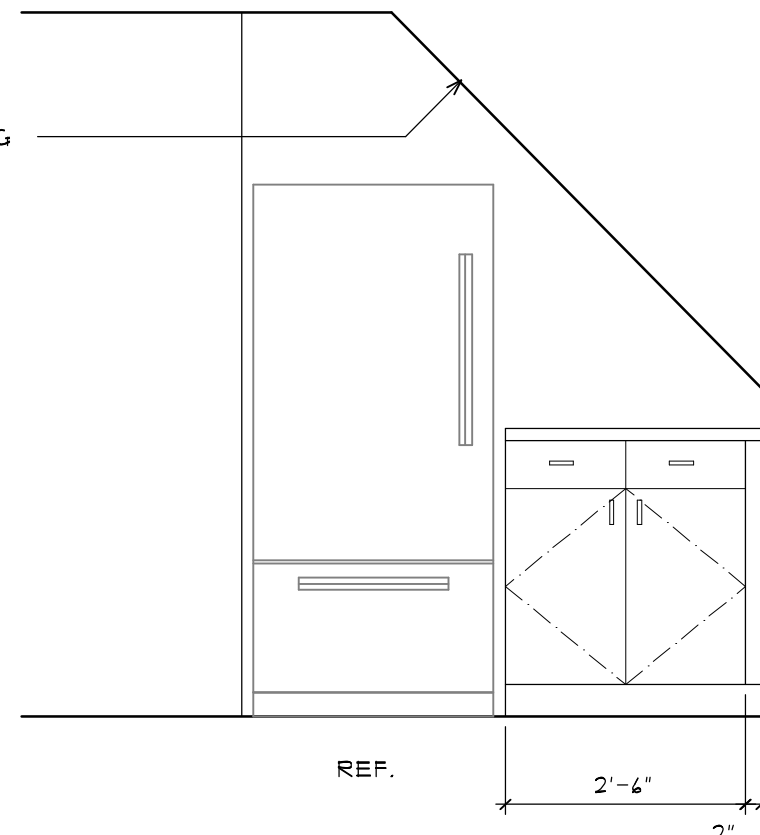
APT. #2B
KITCHEN ELEVATION
1/2" = 1'-0"



APT. #2C
KITCHEN ELEVATION
1/2" = 1'-0"



APT. #3A
KITCHEN ELEVATION
1/2" = 1'-0"



APT. #3A
KITCHEN ELEVATION
1/2" = 1'-0"

PERMIT SET

DOOR SCH., MILLWORK

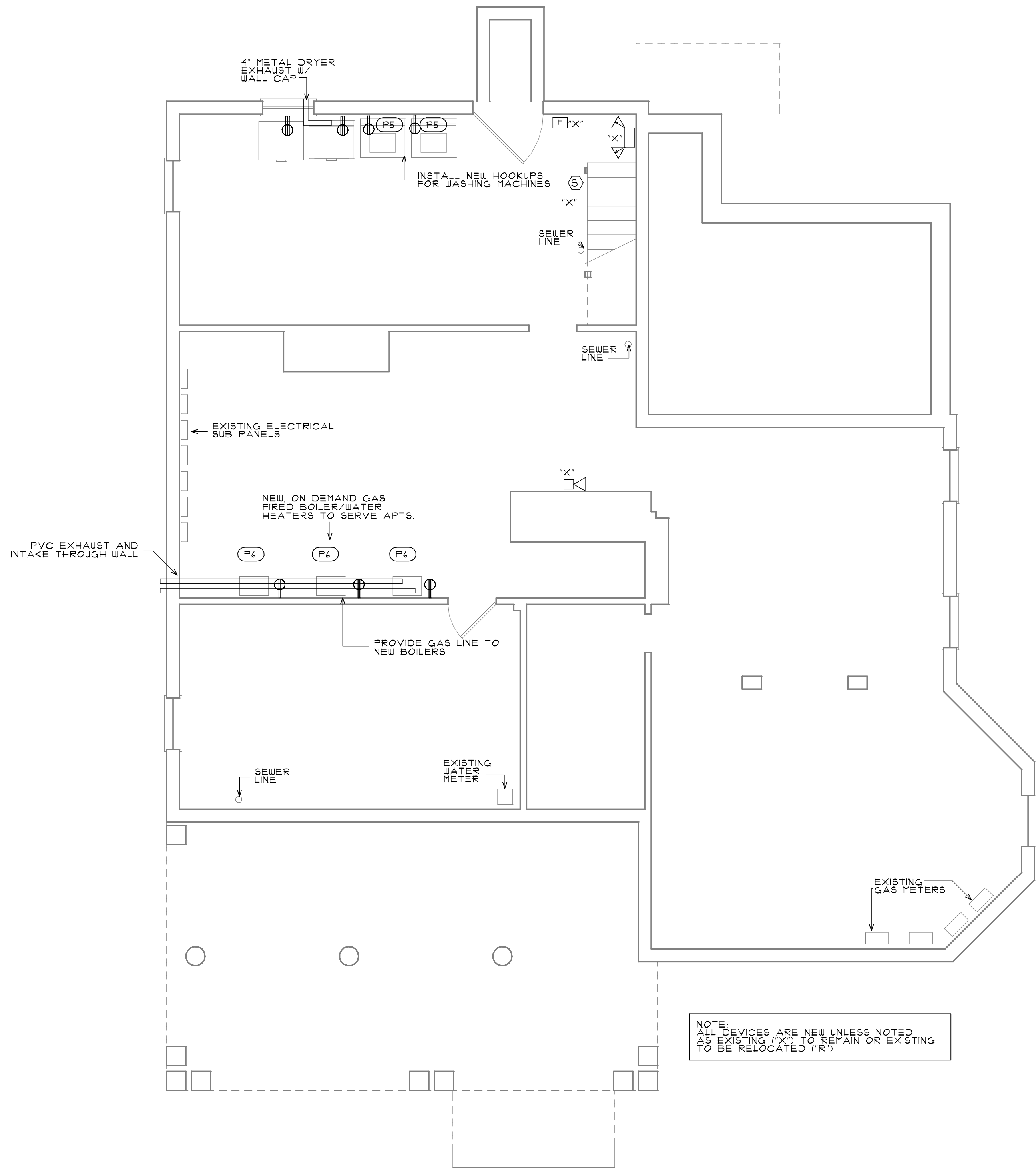
RENOVATIONS TO EXISTING
MULTI-FAMILY BUILDING
FELLOWSHIP HEALTH
RESOURCES, INC.
1739 BROAD STREET, CRANSTON, RHODE ISLAND 02920

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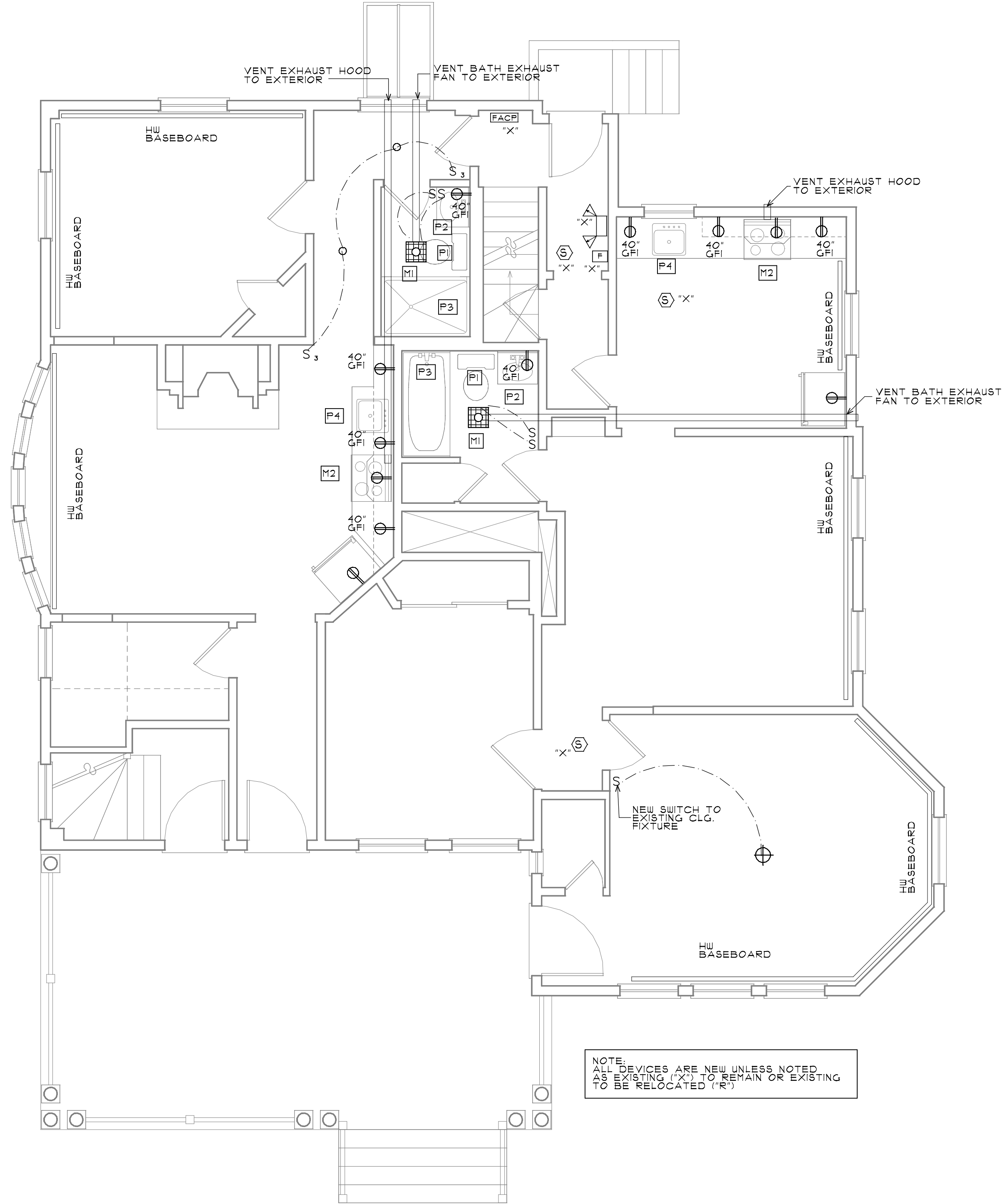


REVISIONS:
DATE: 7/1/22
SCALE: AS NOTED

SHEET
A1.3



1
MPE
1.1
BASEMENT MPE & FA PLAN
1/4" = 1'-0"



2
MPE
1.1
FIRST FLOOR MPE & FA PLAN
1/4" = 1'-0"

"N" - NEW DEVICE OR FIXTURE
"R" - EXISTING DEVICE OR FIXTURE RELOCATED

FIRE ALARM LEGEND

- FIRE SPRINKLER HEAD
- FIRE ALARM PULL STATION
- STROBE LIGHT
- HORN/STROBE
- EXIT LIGHT
- SMOKE DETECTOR
- HEAT DETECTOR - 135°F
- HEAT DETECTOR - 134°F
- CARBON MONOXIDE DETECTOR
- FIRE EXTINGUISHER
- EMERGENCY LIGHT
- EMERGENCY LIGHT w/ BATTERY PACK
- FIRE ALARM ANUNCIATOR PANEL
- FIRE ALARM CONTROL PANEL
- KEY BOX
- DOOR HOLD w/ RELEASE

MECHANICAL LEGEND

- THERMOSTAT
- EXHAUST FAN
- CEILING HVAC SUPPLY DIFFUSER
- CEILING HVAC RETURN GRILLE
- BASEBOARD RADIATION
- SUPPLY DUCT
- RETURN DUCT
- EXHAUST DUCT
- FLEXIBLE DUCT

ELECTRICAL LEGEND

- DUPLEX RECEPTACLE
- QUADRAPLEX RECEPTACLE
- SINGLE RECEPTACLE
- CABLE TV OUTLET
- TELEPHONE/DATA JACK
- SPECIALTY RECEPTACLE
- RECESSED CAN LIGHT
- SURFACE MTD. LIGHT FIXTURE
- WALL MOUNTED FIXTURE
- WALL WASHER
- SINGLE POLE SWITCH
- THREE WAY SWITCH
- 4 WAY SWITCH
- DIMMER SWITCH
- MOTION SENSOR
- WATER PROOF
- GROUND FAULT INTERRUPTER
- MOUNTING HEIGHT AFF
- UNDER CABINET FIXTURE
- 2' x 2' FLUORESCENT FIXTURE
- 2' x 4' FLUORESCENT FIXTURE
- SWITCH CIRCUIT
- TRACK LIGHT FIXTURE

PERMIT SET

BASEMENT & FIRST FLOOR
MPE & FA PLANS

SHEET

MPE 1.1

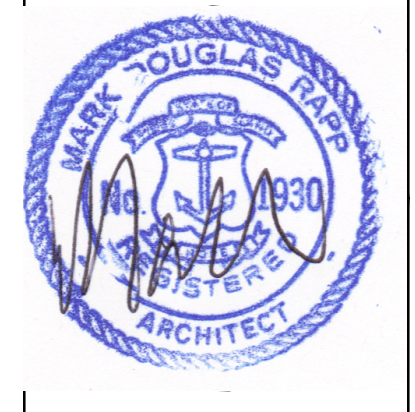
REVISIONS:
 DATE: 1/1/22
 SCALE: 1/4" = 1'-0"

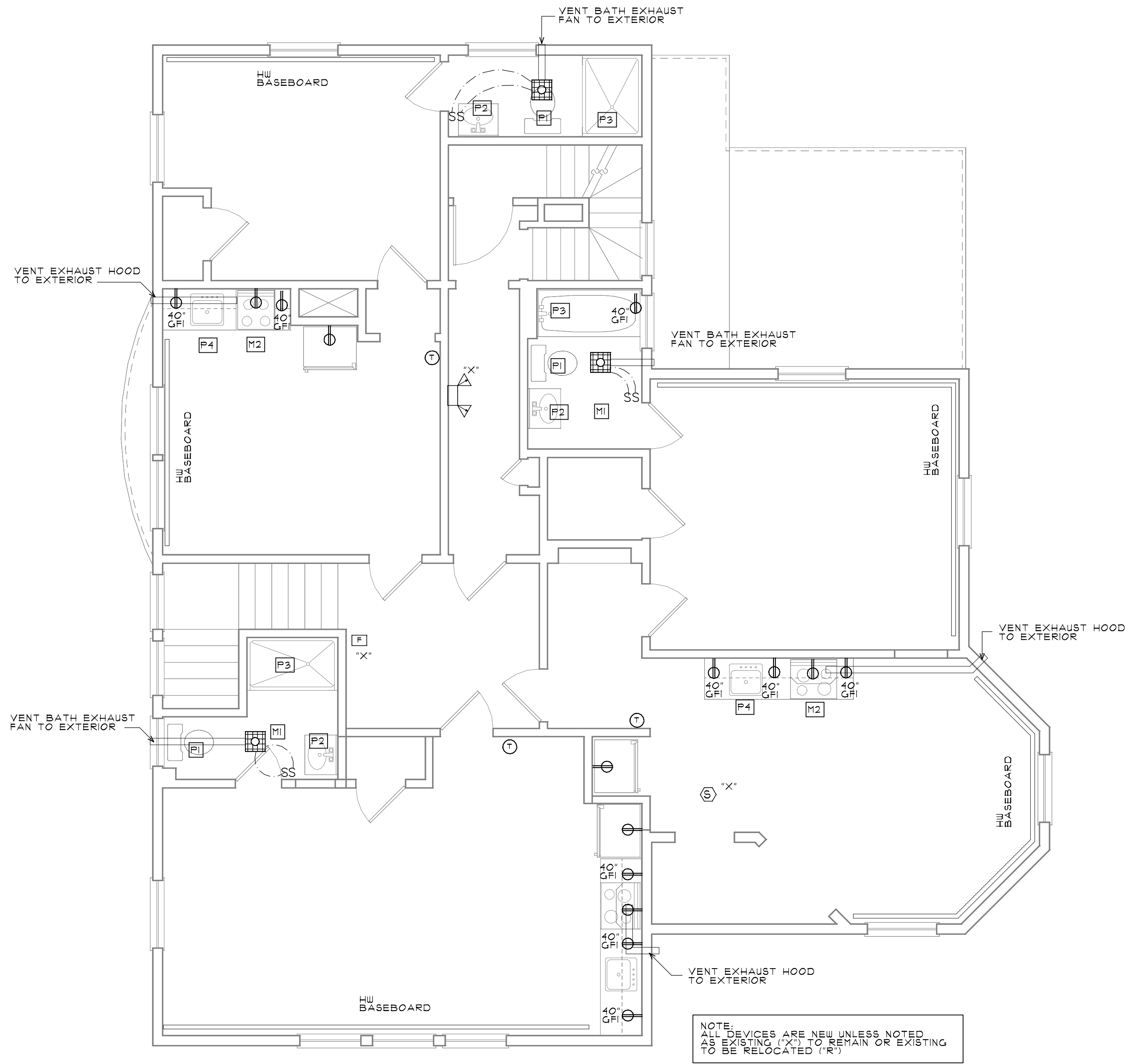
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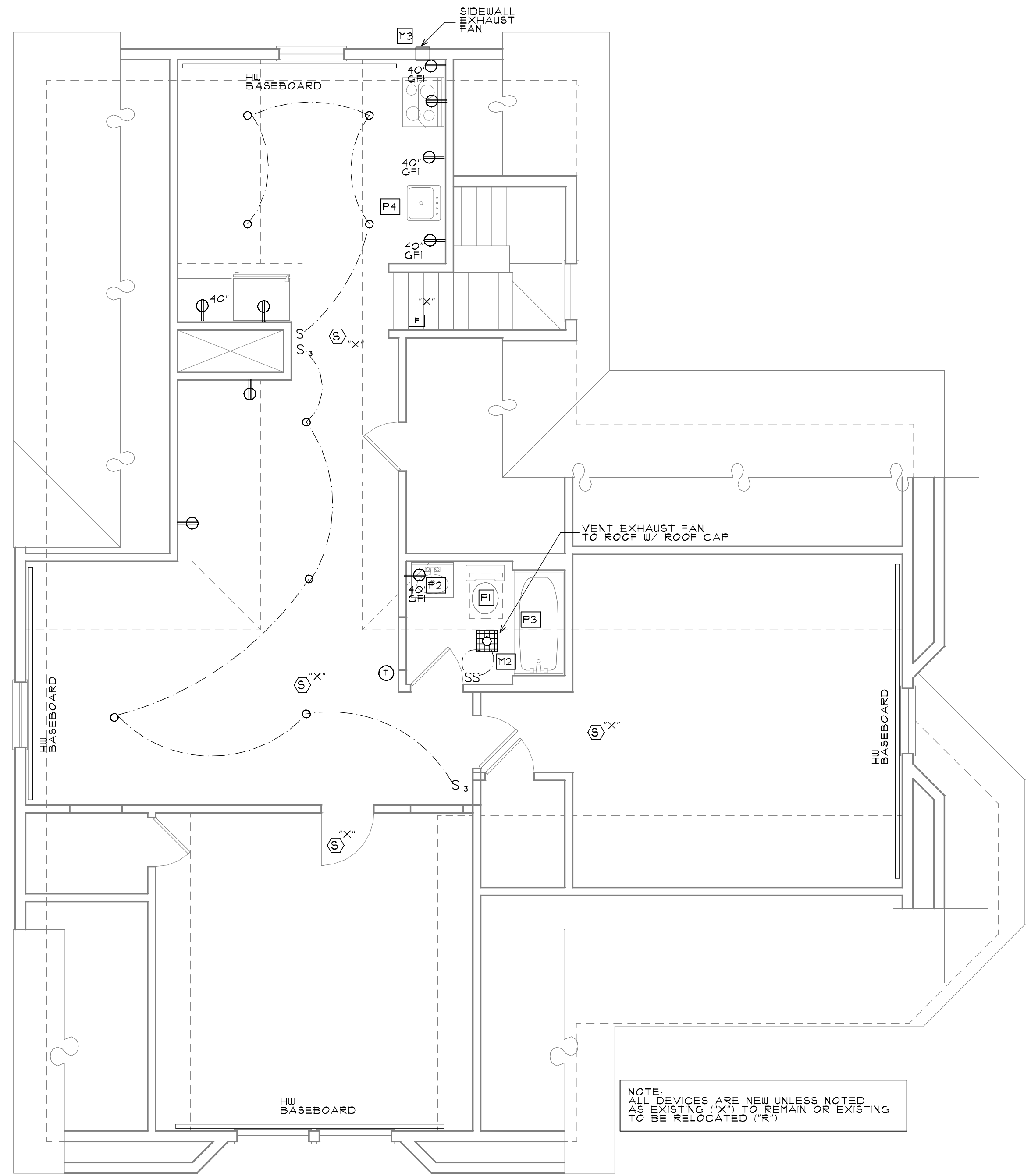
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1 SECOND FLOOR MPE & FA PLAN
1/4" = 1'-0"



2 THIRD FLOOR MPE & FA PLAN
1/4" = 1'-0"

PLUMBING SCHEDULE										
#	TYPE	FIXTURE		FAUCET		LINES				
		MANU.	MODEL	MANU.	MODEL	CW	HW	GAS	DR	ELEC
P1	Water Closet	Am. Std. Colony	#221AA105.020			X			X	
P2	Lavatory & Vanity			Am. Std. Colony	#7075055.002	X	X		X	
P3	Shower Mixing Valve & Head	Am. Std. Studio S	TU105501.002			X	X		X	
P4	Kitchen Sink	Kohler	K-3362-1-NA	Am. Std. Colony	4175300F15.075	X	X		X	
P5	Washing Machine Connection	Eastman	60260			X	X		X	
P6	Boiler/Water Heater	Navien	NCB-240			X			X	X
MECHANICAL SCHEDULE										
#	TYPE	FIXTURE				LINES				
		MANU.	MODEL			CW	HW	GAS	DR	ELEC
M1	Exhaust Fan - Bath	Broan	#QTNLEDA	0.7-Sone	110 CFM					X
M2	Exhaust Hood	GE	JVE40STSS							X
M3	Wall Exhaust	Broan	509S	8.5	200 CFM					X
ELECTRIC SCHEDULE										
#	TYPE	FIXTURE		LAMPS						
		MANU.	MODEL	TYPE	QTY.					ELEC
A	Surface - Ceiling	Progress	#P810023-009-30	LED						
B	Wall Sconce	Allen & Roth	LWS15958C3	LED						
C	Recessed Can	Designers Fountain	EV608943WH50	6" LED						
D	Flood Light	Good Earth	#SE1095-WH3-02LF0-G	LED						
E	Utility - Ceiling	Metalux	4WPLD3140R9	1'x4' LED						

PERMIT SET

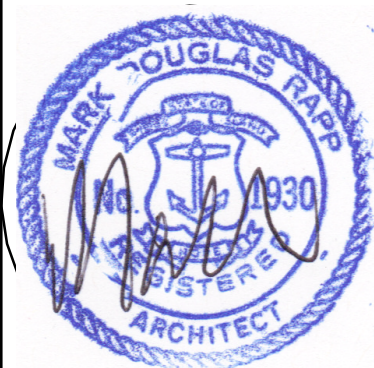
SECOND & THIRD FLOOR
MPE & FA PLANS

DATE: 7/1/22
SCALE: 1/4" = 1'-0"

SHEET
MPE 1.2
21-19

RENOVATIONS TO EXISTING
MULTI-FAMILY BUILDING
**FELLOWSHIP HEALTH
RESOURCES, INC.**
1739 BROAD STREET, CRANSTON, RHODE ISLAND 02920

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GENERAL NOTES – ALL PROJECTS

OWNER – Fellowship Health Resources, Inc., 45 Sockanosett Road, Unit 4, Cranston, RI 02920

ARCHITECT – ACME Architects LLC, 9 Simmons Road, Little Compton, RI 02837

CODE – RI State Building Code SBC-1 2021, RI State Fire Code January 1, 2022; NFPA1 - 2018 Edition; NFPA 101 – 2018 Edition; NFPA 72 - 2013 Edition

PROJECT –Renovation of building at 1739 Broad Street, Cranston, Rhode Island. The work includes the following:

- Asbestos Removal
- Thermal Imaging
- Insulation
- Brick foundation repair
- Interior Structural repair/shoring
- Roof replacement/flashing repair
- Siding repair
- Install replacement windows (42)
- Rebuild kitchens (6)
- Bath Rehabilitation (6)
- New Exterior Doors (3)
- Unit Doors (8)
- Floor refinishing
- Paint - interior
- Replace Boilers/WH (3)
- Misc. Electrical

SITE – Plat 2/5, Lot 33882, Zone C-1

GENERAL - All work shall be in conformance with all applicable codes and regulations in effect at the project site. The contract between the Contractor and the Owner shall be A101 – 2007 Standard Form of Agreement between Owner and Contractor where the basis of payment is a Stipulated Sum.

UNIT PRICES – Within the bid, provide unit prices if requested. Each is described in their respective sections of the notes

PERMITTING – The contractor and subcontractor shall obtain and pay for permits required to complete the Work. The Owner and the Architect will submit drawings and applications for each project in Providence and Cranston. The Owner will pay the fire plan review fee for each project. When fire plan review is completed, the contractor will obtain the approved drawings and apply for building permits in Providence and Cranston

SUBMITTALS – The General Contract will be required to the provide submittals for review and approval of the Architect and Owner. Submittal list:

- Windows
- Doors
- Millwork
- Plumbing Fixtures
- Mechanical Equipment
- Electrical devices

ASBESTOS REMOVAL – All asbestos is to be removed in a safe and legal manner. Refer to the attached asbestos abatement plan as prepared by Emery Environmental Associates.

DEMOLITION - All items shown to be removed shall be disposed off site in a safe and legal manner. Contractors shall protect and preserve all items to remain or be reused, including walls, doors and frames, electrical and fire alarm devices.

SITEWORK - Excavate as needed to accommodate the new concrete foundations and slabs on grade. All excavated material shall remain on site.

CONCRETE

- Piers - 3,000 psi, as is readily available from a commercial batch plant, cast in place concrete foundation walls and piers, placed on undisturbed soil
- Slabs - Exterior - 3,000 psi cast in place concrete, air entrained, with 6x6 1.4/1.4 WWM and 4" gravel base, broom finish

WOOD FRAMING

- Exterior - All wood framing and blocking which is in contact with an exterior masonry wall, concrete or is used for framing for decks exposed to the elements shall be pressure treated lumber to prevent rotting

- Interior – Provide and install wood framing, pressure treated and kiln dried, as shown. New solid sawn wood framing shall be Douglas fir, larch, or spruce, which has a minimum fiber bending stress (Fb) of 900 PSI with maximum moisture content of 19%. Interior walls to be 2x4 framing @ 1'4" o/c.
- Sheathing - 1/2" exterior plywood sheathing

EXTERIOR TRIM – Provide install "Azek" flat stock and panels as needed to cover new entry door framing and sidelights. Trim shall be installed with screws and plug covers

ENTRY RAMP – Deck to be 1x4 Trex. Posts to be 4"x4" Fiberon white composite deck posts covering 4x4 P.T. wood posts. Top and bottom rails shall be Fiberon system in filled with 2"x2" Fiberon Balusters. Posts to have Fiberon post caps. All metal fasteners and anchors to be fully galvanized

ROOFING - Provide and install GAF Timberline HD roof shingles or approved equal. Strip existing roof shingles and underlayment down to the deck, patch and repair deck as required. Install ice and water underlayment and asphalt shingles, in accordance with manufacturer's recommendations. Install aluminum valley flashing, ridge vent, soffit vents and aluminum drip edges as required.

THERMAL IMAGING – Complete thermal imaging analysis of entire building envelope to determine extent of required insulation. Report shall be presented to Owner and Architect who will determine the extent of insulation work to be performed.

INSULATION – Blown insulation shall be cellulose with up to 85% recycled paper fiber, treated with flame retardant chemicals and formaldehyde-free. Walls shall be filled from the exterior, remove, and replace vinyl siding as required. Attic spaces shall be covered to achieve a minimum of R-38.

REPLACEMENT WINDOWS – Provide and install replace window units as shown on the window schedule and as needed for the entire building. Unit sizes and quantities are to be verified in the field by the Contractor. Units shall be double hung, vinyl frames and sashes which are fully welded. Meeting rails to interlock tilt sash for cleaning, fully insulated glass with metal divider bar and low-e coating. Provide half insect screens for each unit. Exterior jambs and trim, exposed by new units, shall be clad with vinyl to match surrounding cladding.

PAINT (INTERIOR) - Interior GWB and wood trim and doors - 372 Benjamin Moore Eco Spec WB 0 VOC Primer or equal. Walls to be eggshell, trim and doors to be semi-gloss.

GYPSUM WALLBOARD - 1/2" GWB each side, unless noted otherwise. All GWB shall be taped, spackled, and sanded with a standard three coat system for a smooth finish. New surfaces shall be feathered into adjacent wall surfaces. Stairway walls shall be filled with 3-1/2" fiberglass sound batts. GWB at stairways shall be 5/8" type "X", each side.

PATCH AND REPAIR – At locations where piping, radiator or controls have been removed, the existing surfaces to remain, walls, floors, and ceilings, shall be repaired in kind. Where metal flues have been removed from chimney, infill and seal with compatible masonry and mortar.

FRAMING & GWB – New and interior infill walls and partitions shall be 2x4 wood studs @ 16" o/c with 1/2" GWB each side, unless noted otherwise. All GWB shall be taped, spackled, and sanded with a standard three coat system for a smooth finish. New surfaces shall be feathered into adjacent wall surfaces. Stairway walls shall be filled with 3-1/2" fiberglass sound batts. GWB at stairways shall be 5/8" type "X", each side.

STAIR TREADS – Provide and install medium duty vinyl stair treads, 36" wide, 12" deep, 3/16" thick, curved nosing, Install with water-based stair tread contact adhesive. Secure inside of nose with epoxy stair caulk

UNIT ENTRY DOORS – Doors shall have 20-Minute fire rating. Units to be 4 panel with fiberglass reinforced facing, wood lock stile, wood hinge stile, wood top rail, and wood bottom rail and particleboard core. Door facings are to be bonded to stiles, rails and core forming a structural attachment. Install 1-1/2 pair of hinges per door, hinges to be spring return butt hinges. Install lever latch set Schlage Plymouth Style Non-locking Accent Lever, #F10 ACC 605, or equal. Install separate deadbolt, keyed exterior, and thumb turn interior.

VINYL FLOORING – Remove the existing flooring and replace with new vinyl flooring. Tile to be TrafficMASTER Allure Model # 260110.0 12 in. x 36 in. Sedona Vinyl Tile Flooring. Follow all manufacturers' installation in instructions.

HARDWOOD FLOOR – Existing hardwood flooring shall be patched, infilled, and repaired as shown on the drawings. When infill is complete, lightly sand and recoat with new finish. Finish to be three coats, water based, polyurethane, semi-gloss

MILLWORK – Provide and install the following millwork items. Verify sizes in the field prior to purchase. All counters and cabinets shall be scribed to walls as required.

Kitchen and Cabinets – Provide and install base cabinets and wall cabinets as shown.

- Boxes to be clear finished birch plywood with hardwood face frames
- Flat panel full overlay doors with fully concealed European hinges
- Drawers – 5/8" sides and ends (dovetailed) 1/4" bottoms, full extension slides
- 5/8" plywood adjustable shelves, edge banded
- Painted finish to be fully catalyzed

Countertops – Fit to cabinets and scribe to walls

- Post-formed plastic laminate counter, with an integral backsplash and a rolled front edge. Provide and install end laminate where counter is exposed. Provide openings for sinks as required.

Bath Vanity - Project Source 25-in x 19-in Oak Integral Single Sink Bathroom Vanity with Cultured Marble Top, Model #: C14024A-PS, or equal.

APPLIANCES – Provide and install the following appliances as shown.

- Refrigerator – GE 20.9 cu ft. bottom freezer, white model #GBE21DSK
- Range – Free standing electric range, 30" wide, GE Model #JB250DFWW – White on white

PLUMBING - All plumbing work shall be completed by a licensed plumbing as required by the City of Cranston. All work shall be in conformance with applicable codes and regulations. Provide and install all fixtures shown on the Plumbing Schedule for a complete and thorough installation. The GC may submit another product of equal or greater value for those listed. Alternate products must be submitted in writing and approved by the Architect, prior to purchase.

MECHANICAL – All mechanical work shall be completed by a licensed professional as required by the City of Cranston. All work shall be in conformance with applicable codes and regulations. Provide and install all items for a complete and thorough installation. The GC may submit another product of equal or greater value for those listed. Alternate products must be submitted in writing and approved by the Architect, prior to purchase.

MECHANICAL - Provide and install two (2) new gas fired combination boiler and water heaters with all controls. Provide and install wall mounting panel, all connections to existing gas service, heating supply and return lines and venting as needed for a

complete and thorough installation. For Apartment #3 provide and install baseboard radiators with covers as shown and as need to provide adequate heating for the unit.

- Units shall be Navien, NCB-240 condensing boiler, direct vent, with hot water, set for natural gas.
- Baseboard – Provide and install hot water fin tube radiators for each unit as shown on the drawings or as needed to serve the unit in an efficient manner. Provide all clips, supports, end caps etc. as need for a complete and thorough installation.
- Controls - Heating system for each unit shall have a thermostat located as shown. Honeywell Mechanical Non-Programmable Thermostat, Model # CT87K1004/U1. Boiler shall also have and Outdoor Reset Sensor to maximize efficiency.
- Kitchen - Provide and install kitchen exhaust hood as shown. Hood shall be 20"x30" GE 30" hood, model #JVE40STSS, white on white. Install metal duct from hood to exterior wall and cap with exhaust wall cap and insect screen
- Bath - Provide and install bath exhaust fan. Unit shall be Nutone InVent Series 110 CFM Ceiling Exhaust Bath Fan with Light. Model # 791LEDNTM. Install metal duct from fan to exterior wall and cap with wall cap and insect screen

ELECTRICAL – Provide and install all power, lighting and controls as shown. All electrical work shall be completed by a licensed electrician as required by the City of Cranston. All work shall be in conformance with applicable codes and regulations.

FIRE PROTECTION

Provide and install fire alarm devices in accordance with the State building Code and the Rhode Island Fire Safety Code. All work shall be performed by a fire alarm installer licensed by the State of Rhode Island. The system shall include, but be limited to smoke detectors, carbon monoxide detectors and heat detectors as shown or as required by the AHJ.

END OF NOTES